#### GENERAL NOTES

Contractors must verify all dimensions on site prior to commencing any site works or making any shop drawings.

Do not scale drawings - Figured dimensions take precedence over scaled sizes.

All sizes, levels & conditions on site must be verified prior to commencing any site works & any discrepancies must be reported to this office.

All materials & methods of construction shall comply with N.C.C. 2019, the relevant Australian Standards (A.S.) & municipal council by-laws & regulations.

All concrete footings are to be founded at a depth of minimum required bearing capacity &/or in accordance with soil report recommendation where supplied.

All foundations to be constructed in accordance with the engineer's certified design, N.C.C. 2019 Part 3.2 & A.S. 2870.

Concrete to be manufactured to A.S. 3600.

Footings are not under any circumstances to encroach over title boundaries or easement lines & this office must be notified immediately prior to construction if this occurs.

All roof & wall framing, bracing etc. is to be in accordance with A.S. 1684 & Timber Framing Manual requirements.

The builder shall take all steps necessary to ensure the stability of new & existing structures effected by these works on this & adjacent allotments.

The builder shall ensure the water tightness of all new structures.

All glazing must be in accordance with A.S. 1288.

Installation of all Insulation must be in accordance with N.C.C. 2019 Part 3.12.1.1.

Window sizes are nominal only (unless a specific manufacturer is specified) & may vary according to the suppliers range.

All 1st floor bedroom windows are required to be restricted to a maximum 125mm opening per N.C.C. 2019 Part 3.9.2.6.

Buildings & all site works to be constructed & maintained within the title boundary.

Earthworks (un-retained) shall not exceed 2000mm max.

Slope ratios for earthworks :-

Soil Class	Site Cut Max. Ratio	Site Fill Max. Ratio
Stable Rock - Class A	8:1	2:3
Sand - Class A	1:2	1:2
Firm Clay - Class M-E	1:1	1:2
Soft Clay – Class M-E	2:3	Not Suitable

Slope ratios for filled soft clay (Class M-E) & all earthworks for Class P sites must me specified by the designing engineer & nominated on the site plan.

Surface drainage to comply with N.C.C. 2019 Part 3.1.3.3.

Stormwater drainage (90mmø) & sullage shall be connected to the legal point of discharge to the satisfaction of the relevant authorities.

Provide roof tie downs in accordance with surveyors requirements.

These plans shall be read in conjunction with relevant engineers computations, recommendations & drawings where relevant Note: If site conditions vary from these reports the builders office & relevant engineer should be contacted immediately.

This office under no circumstances accepts responsibility for any breach of copyright that may occur from information supplied by the client.

The building shall be protected against termite infestation in accordance with A.S. 3660.1 & N.C.C. 2019.

All new class 1,2,3 & 10a buildings are to be assessed under provisions of A.S. 3959 for Construction of Buildings in Bushfire-prone areas.

Construction of sanitary compartments to be in accord with N.C.C. 2019 Part 3.8.3.3 - the door to a fully enclosed sanitary compartment must open outwards, or slide, or be readily removable from outside the compartment unless there is a clear space of at least 1200mm between the closet pan within the sanitary compartment & the nearest part of the

Provide impervious floor & wall coverings to all wet areas except kitchen floor:

Wall covering heights above shower bases, vanities, troughs, boths & the like as required by N.C.C. 2019 Part 3.8.1 & A.S. 3740.

Provide min. 150mm high tiled skirting to all wet areas except kitchen floor.

All internal waterproofing to be in accordance with A.S. 3740.

All balcony waterproofing to be designed & installed in accordance with A.S. 4654.1 & A.S. 4654.2.

Infill to be used above all window or door openings between the respective (window or door) frame & underside of steel lintel where head height does not match brick course heights - (only applicable where brickwork is specified over openings).

All pliable building membranes to comply & be installed in accordance with N.C.C. 2019 Part 3.8.7.2, A.S./N.Z.S. 4200.1 & A.S./N.Z.S. 4200.2 & must be a vapour permeable membrane for climate zones 6/7/8.

Exhaust systems from a bathroom or sanitary compartment must achieve a min. 25L/s flow rate & exhaust systems from a laundry must achieve a min. 40L/s flow rate. These must be discharged directly via a shaft or duct to outdoor air in accordance with N.C.C. 2019 Part 3.8.7.3 or to a roof space that is ventilated in accordance with N.C.C. 2019 Part

Performance Solutions pursuant to N.C.C. 2019 Volume 2 apply to the construction of this building as an alternative to the deemed to satisfy requirements of the N.C.C. 2019.

Anti-Ponding device/boards to be installed pursuant to N.C.C. 2019 Part 3.5.2.5.

Brickwork to comply with N.C.C. 2019 Part 3.3, A.S. 3700 & A.S. 4773.1 & A.S. 4773.2.

Articulation joints (10mm min. width) to be provided as specified in the engineer's design or N.C.C. 2019 Part 3.3.5.13 -(as applicable).

Hebel panels to be provided & installed pursuant to the N.A.T.A. testing authority approved manufacturer's specifications.

Foamboard wall cladding to be provided & installed pursuant to the N.A.T.A. testing authority approved manufacturer's specifications.

Exposed steel to be protected against corrosion in accordance with N.C.C. 2019 Parts 3.3, 3.4 & 3.5.

Location of downpipes shown on plans are indicative only.

All autters & downpipes are to be provided & installed in accordance with A.S./N.Z.S. 3500.3.

Plumbers for gutters & downpipes to clearly specify compliance to A.S./N.Z.S. 3500.3 in the plumbing compliance

Provisions for gutter overflow have been nominated by the use of slotted gutters to prevent backflow of water into the

CONSTRUCTION DRAWINGS ISSUED: AD/MY DATE: 22/04/2021

### STOR GRANGE 54

All floor to ceiling heights nominated on these plans indicate the dimension from concrete slab level (& first floor joist level for 2 storey) to underside of truss bottom chord (& underside first floor joist level for 2 storey).

All dimensions noted on floor plans, sections & external elevations represent timber frame & structural member measurements, not finished plaster measurements. Finished room sizes measured after plaster installation will vary

Unless noted otherwise, all dimensions on the internal elevations represent finished plaster measurements.

- -These notes are neither exhaustive nor a substitute for regulations, statutory requirements, building practice or contractual obligations & unless expressly stated otherwise are provided only as quidelines — no responsibility is accepted for their use.
- -The version/edition of the N.C.C. & relevant Australian Standards (A.S.) to be referenced are those current as per the issue date of the building permit.

#### CEILING BATTENS

All dwellings to have the following areas installed with nail up battens for plastering of ceilings:

- 600mm centres to All Main Living areas, that includes Kitchen, to area contained by walls/doors/bulkheads.
- 600mm centres to All Garages.
- 450mm centres to All Alfrescos.

### STAIR NOTES

Set out & determine all steps on site in accordance with N.C.C. 2019 Part 3.9.1.2.

Tread - minimum 240mm, maximum 355mm Riser – maximum 190mm, minimum 115mm

Provide handrails to all decks etc. where height out of ground exceeds 1000mm - handrails to be min. 1000mm high above floor & landings & min. 865mm high above tread nosing line in accordance with N.C.C. 2019 Part 3.9.2.

Provide continuous handrails to stairs in accordance with N.C.C. 2019 Part 3.9.2.4.

Provide max. 125mm gaps to all rails, balusters, open risers & the like in required stairs in accordance with N.C.C. 2019 Part 3.9.2.3.

Treads must have a surface or nosing strip with a slip resistance of not less than that listed in Table 3.9.1.3 of N.C.C. 2019 when tested in accordance with A.S. 4586.

### SMOKE DETECTORS

Provide smoke detectors as denoted on floor plan as required in accord with A.S. 3786.

Smoke alarms to new residences are to be hardwired to switchboard with battery backup & be interconnected where there is more than one alarm in accordance with N.C.C. 2019 Part 3.7.5.2.

#### ENERGY RATING

Refer to Energy Rating Report for requirements to achieve Energy Rating in accordance with N.C.C. 2019.

Refer to CSIRO information sheet BTF 18-2011 & requirements of A.S. 2870 to indicate owners responsibilities with regard to foundation maintenance & footing performance.

. CLIENT:

#### A. NAJDOVSKI

ADDRESS

LOT 965, (No.35), HIGHPOINT CRESCENT, HIGHTON

This drawing is sheet no. \_\_\_\_ of drawings referred to in this contract agreement dated

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Medibank Place Level 10, 720 Bourke Street, Docklands Vic 3008 F (03) 8751 2701

Builder:

SIGNATURES

JOB No.: PW-611302 DATE: 10/11/2020 | rev. DRAWN: ALD SCALE:

Client:

#### **GENERAL NOTES**

Scrape site to remove surface vegetation and provide level bulding platform @ Rl 1160.
Provide additional scrape to garage area to accommodate 63mm waffle slab step down and 150mm waffle slab step down to porch and alfresco site clearing

IT IS THE RESPONSIBILITY OF THE OWNER TO UNDERTAKE REMOVAL OF ANY SITE SPOIL/STOCK PILES TO THE SATISFACTION OF THE BUILDER PRIOR TO COMMENCEMENT OF CONSTRUCTION OR A VARIATION WILL BE INCURRED OF COST

SITE SOIL CLASSIFICATION CLASS 'P-H2' TO AS 2870-2011 SLAB FREEBOARD

385mm SLAB HEIGHT ( 300mm WAFFLE PODS ) ( 85mm SLAB THICKNESS )

### PROPERTY INFORMATION

PROPERTY INFORMATION NOT AVAILABLE AT TIME OF DRAFTING DETAILS OF ASSETS IN EASEMENTS NOT AVAILABLE AT TIME OF DRAFTING. VERIFY ON SITE PRIOR TO COMMENCEMENT OF CONSTRUCTION

ALL SERVICES TO COMPLY WITH PART 3.12.5 OF

STORMWATER DRAIN LAYOUT IS INDICATIVE ONLY AND WILL BE LAID TO THE DRAINERS DISCRETION

EXTENSION AND/OR RELOCATION OF CROSSING TO ALLOW VEHICLE ACCESS TO GARAGE REMAINS THE RESPONSIBILITY OF THE OWNER

TERMITE PROTECTION
PROVIDE TERMITE TREATMENT IN
ACCORDANCE WITH AS 3660

SITING SUBJECT TO APPROVAL BY DEVELOPER AND RELEVANT LOCAL AUTHORITY

DENOTES PRIVATE OPEN SPACE (POS).

PROVIDE SOLAR HOT WATER INCLUDING 1
PANEL AND 175 LITRE GAS BOOSTED SOLAR
HOT WATER HEATER

#### LOT REFERENCE

CONTOUR INTERVAL IS 200mm. LEVELS SHOWN ON THIS PLAN ARE TO ARBITRARY DATUM MELWAYS REF: 450 H7

### MAXIMUM DESIGN GUST WIND SPEED THIS SITE HAS BEEN ASSESSED AS- NB - W41N (DESIGN

THIS SITE HAS BEEN ASSESSED AS- N3 - W41N (DI GUST WIND SPEED 41 m/s IN ACCORDANCE WITH AS4055-2006

### GARDEN NOTES

GARDEN AREA - DOES NOT INCLUDE A DRIVEWAY, ANY AREA SET ASIDE FOR CAR PARKING, ANY BUILDING OR ROUFED AREA AND ANY AREA THAT HAS A DIMENSION OF LESS THAN 1 METER IN NEIGHBORHOOD RESIDENTIAL ZONE AND GENERAL RESIDENTIAL ZONE.

### SWIVEL JOINTS

SWIVEL JOINTS TO BE INSTALLED AS PER AS2870 FOR THE PROVISIONS OF SOIL MOVEMENT IN ACCORDANCE WITH THE SOIL CLASSIFICATION ON PAGE 1 OF THE SOIL REPORT

### THREE PHASE POWER REQUIRED THREE PHASE POWER REQUIRED DUE TO CLIENT

THREE PHASE POWER REQUIRED DUE TO CLIE REQUESTED REFRIGERATED COOLING SYSTEM.

#### GPO

DRAINER TO PROVIDE CONDUIT TO ISLAND BENCH FOR GPO

#### NBN CO FIBRE-OPTIC BASIC FIBRE PACK

ALL WIRING TO BE INSTALLED IN ACCORDANCE WITH NBNCO WIRING REQUIREMENTS AS OUTLINED IN THE DESIGN GUIDELINES

#### THREE PHASE POWER REQUIRED

THREE PHASE POWER REQUIRED DUE TO CLIENT REQUESTED REFRIGERATED COOLING SYSTEM.

### PROPOSED DRIVEWAY GRADIENT

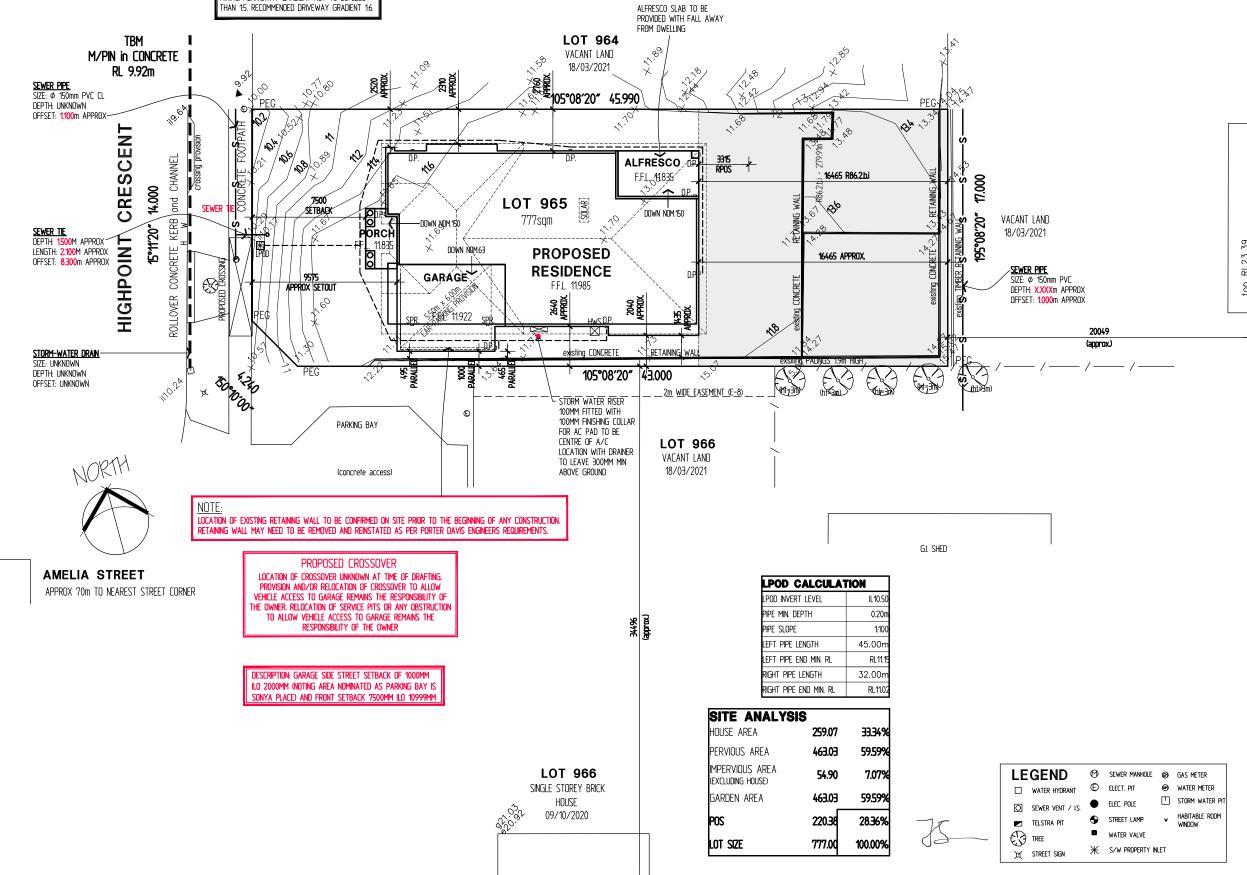
APPROXIMATE GARAGE F.F.L - 11.922
APPROXIMATE CURB RL. - 10.10
APPROXIMATE FALL - 1822mm
APPROXIMATE RNN - 9575mm
APPROXIMATE RNVEWAY GRADIENT - 1.8
MINIMUM DRIVEWAY GRADIENT NOT TO BE LESS

CONSTRUCTION DRAWINGS ISSUED: AD/MY DATE: 22/04/2021

### **ASTOR GRANGE 54**

FAST HAMPTON

BALCO



CLIENT:

### A. NAJDOVSKI

ADDRESS :

LOT 965, (No.35), HIGHPOINT CRESCENT, HIGHTON

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## PORTER DAVIS

Medibank Place Level 10, 720 Bourke Street, Docklands Vic 3008 T (03) 8751 2700 F (03) 8751 2701 SIGNATURES
Builder:
Client:

 JOB No.:
 PW-611302

 DATE:
 10/11/2020
 rev.

 SCALE:
 1250
 DRAWN:
 ALD

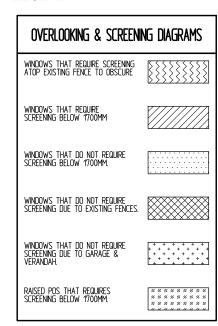
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 2
 OF
 20

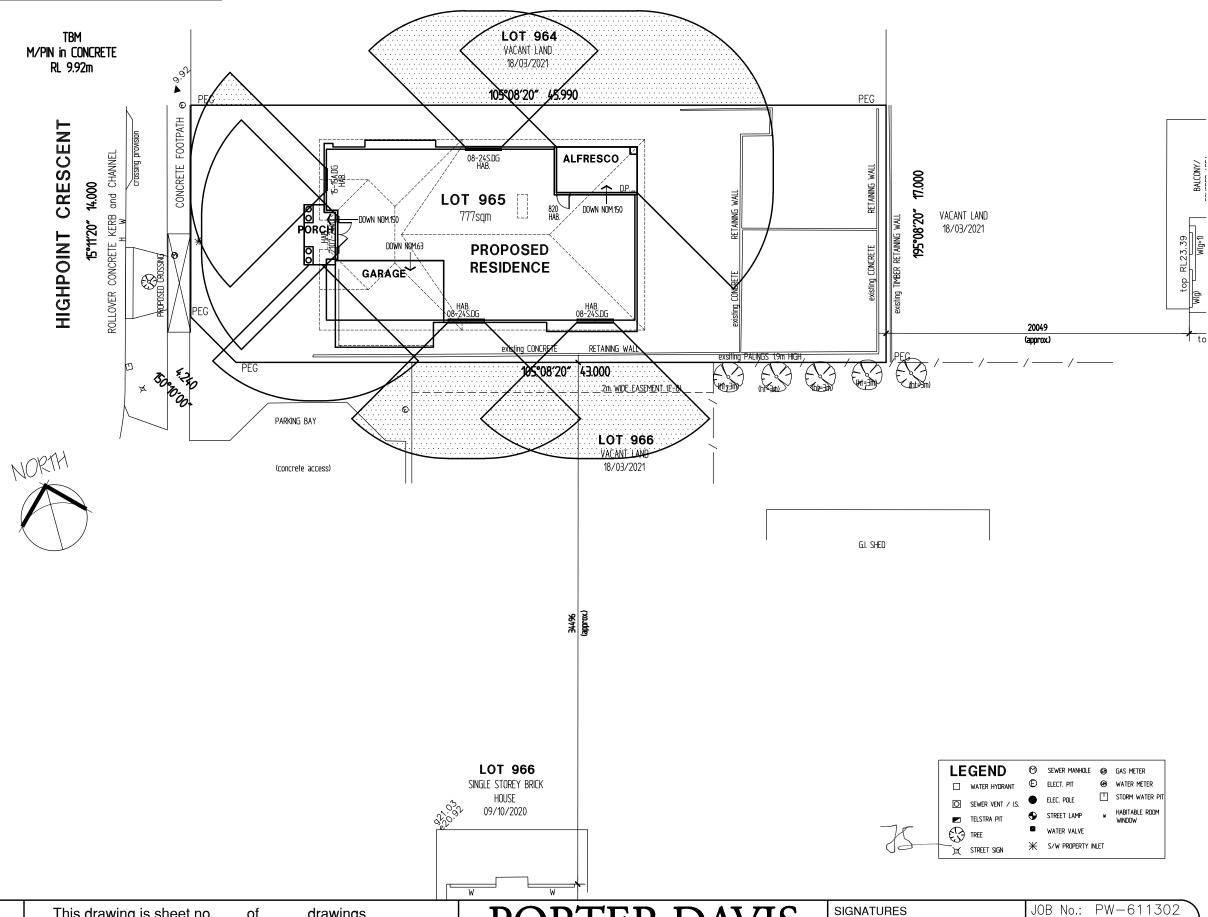
LOT REFERENCE
CONTOUR INTERVAL IS 200mm.
LEVELS SHOWN ON THIS PLAN ARE TO ARBITRARY DATUM
MELWAYS REF: 450 H7

CONSTRUCTION DRAWINGS ISSUED: AD/MY DATE: 22/04/2021

### **OVERLOOKING DIAGRAM**

### LEGEND:





CLIENT:

A. NAJDOVSKI

ADDRESS :

LOT 965, (No.35), HIGHPOINT CRESCENT, HIGHTON

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PORTER DAVIS

Medibank Place
Level 10, 720 Bourke Street, John Jacob F (03) 8751 2701

SIGNATURES

Builder: \_\_\_\_\_

Client:

JOB No.: PW-611302

DATE: 10/11/2020 rev.

SCALE: 1250 DRAWN: ALD

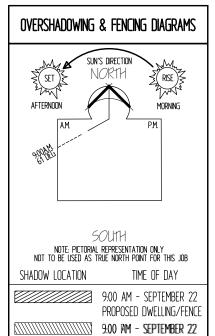
SHEET 2A OF 20

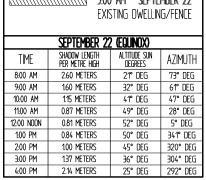
LOT REFERENCE CONTOUR INTERVAL IS 200mm. LEVELS SHOWN ON THIS PLAN ARE TO ARBITRARY DATUM MELWAYS REF: 62 E3

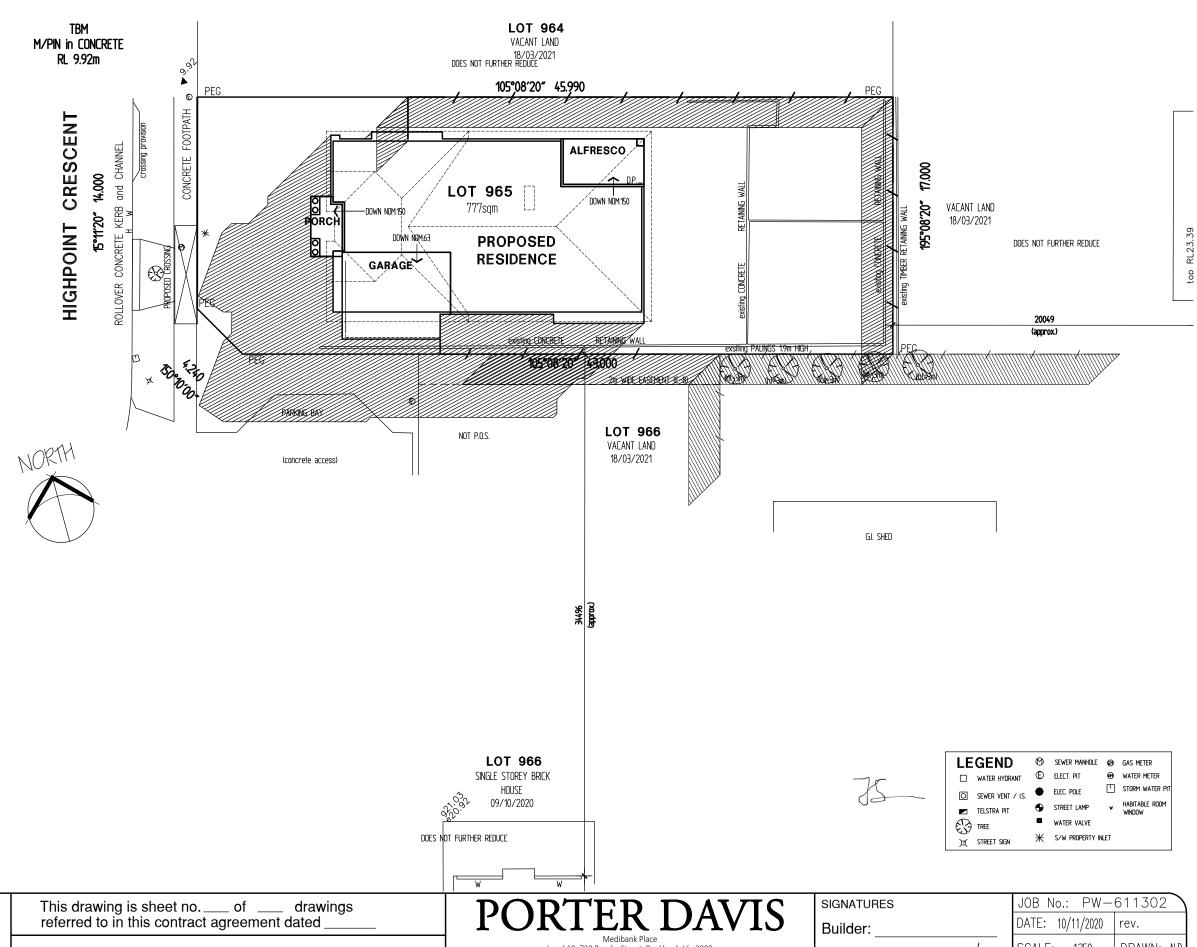
**CONSTRUCTION DRAWINGS** ISSUED: AD/MY DATE: 22/04/2021

### **SHADOW DIAGRAM**

SEPTEMBER 22 EQUINOX - 9AM







CLIENT:

A. NAJDOVSKI

ADDRESS :

LOT 965, (No.35), HIGHPOINT CRESCENT, HIGHTON

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SCALE: DRAWN: ALI 2B

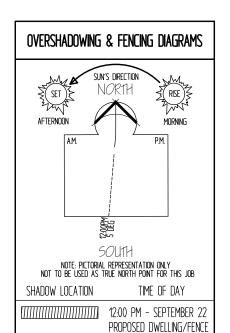
Client:

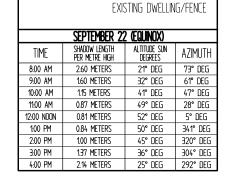
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CONSTRUCTION DRAWINGS ISSUED: AD/MY DATE: 22/04/2021

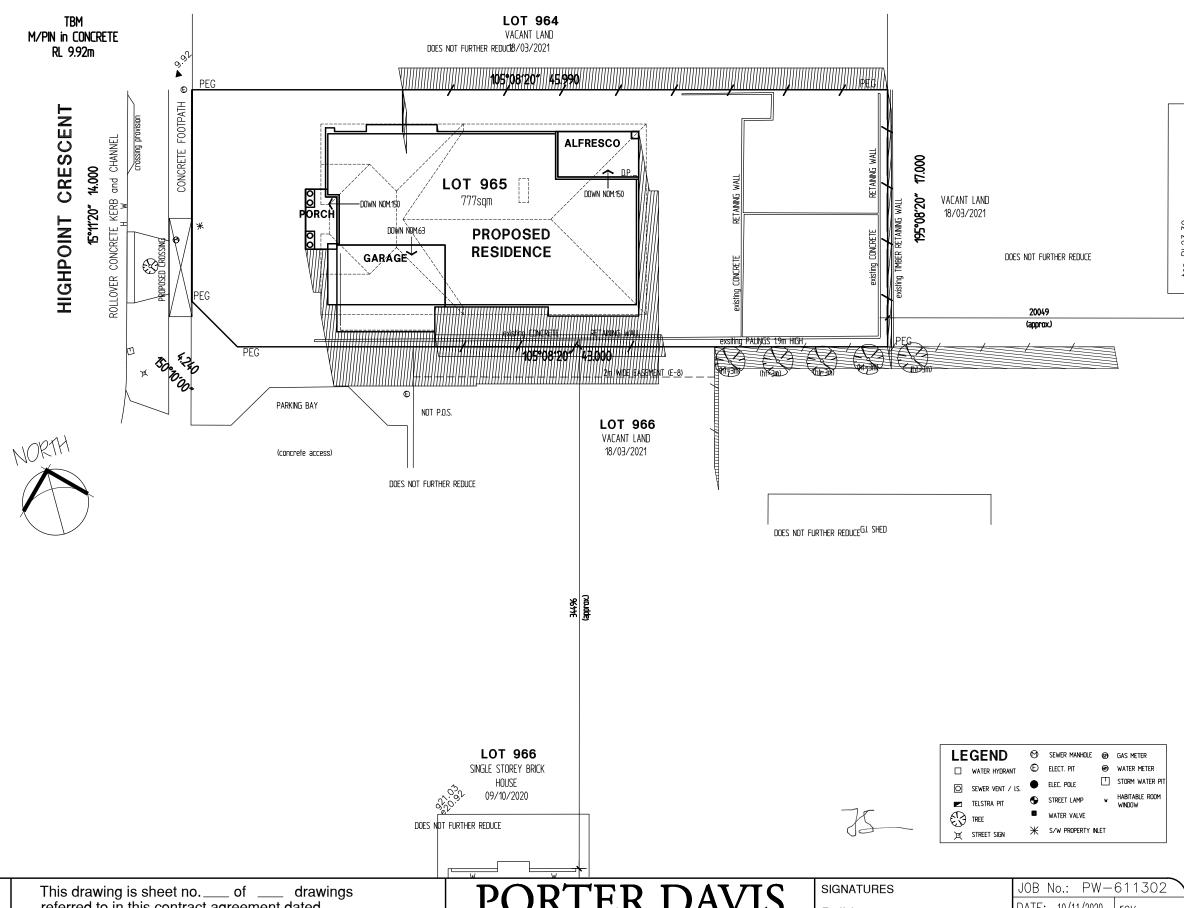
### SHADOW DIAGRAM

SEPTEMBER 22 EQUINOX - 12PM





12:00 PM - SEPTEMBER 22



CLIENT:

A. NAJDOVSKI

ADDRESS :

LOT 965, (No.35), HIGHPOINT CRESCENT, HIGHTON

referred to in this contract agreement dated

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Builder: Client:

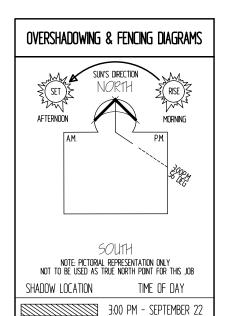
DATE: 10/11/2020 | rev. SCALE: DRAWN: ALI 2C

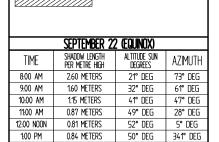
LOT REFERENCE
CONTOUR INTERVAL IS 200mm.
LEVELS SHOWN ON THIS PLAN ARE TO ARBITRARY DATUM
MELIVANY EDEC. 42 62.

CONSTRUCTION DRAWINGS
ISSUED: AD/MY DATE: 22/04/2021

### **SHADOW DIAGRAM**

SEPTEMBER 22 EQUINOX - 3PM





1.00 METERS

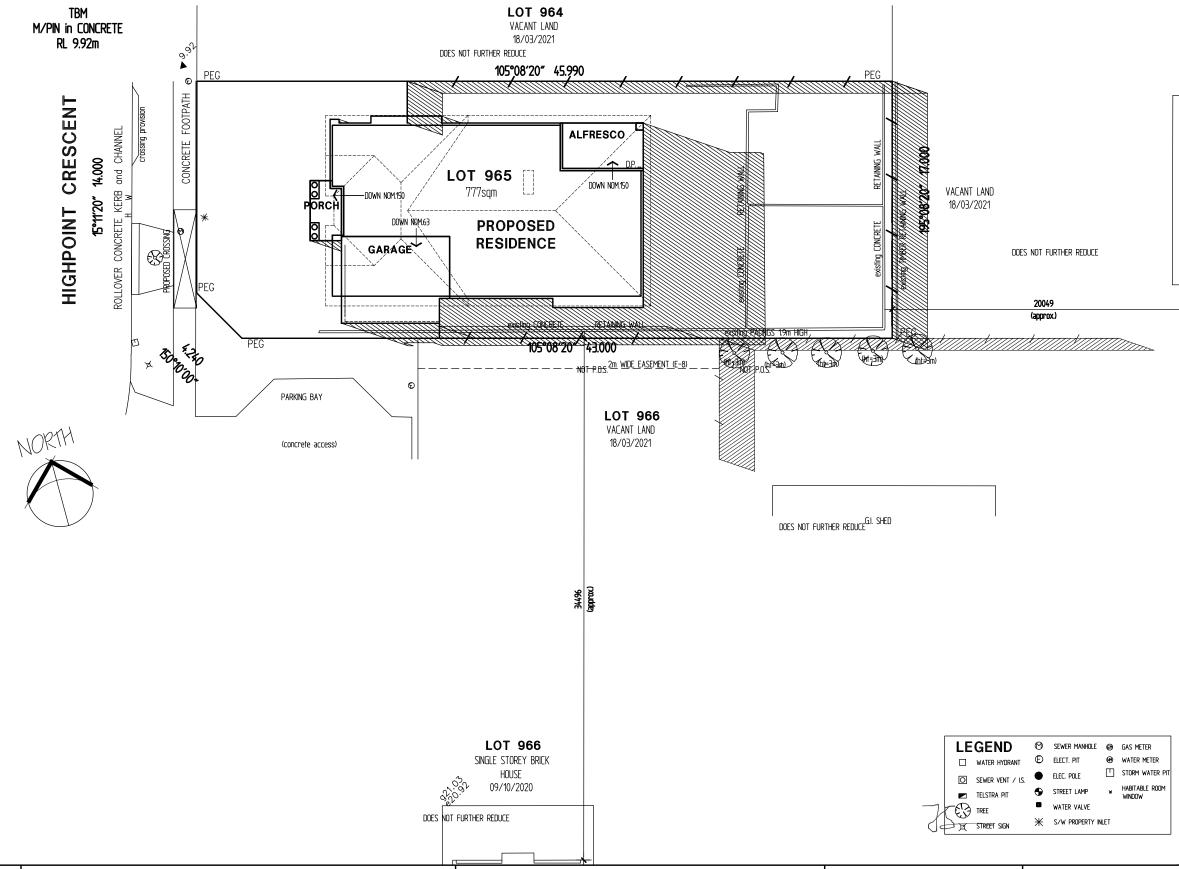
1.37 METERS

2:00 PM

PROPOSED DWELLING/FENCE

45° DEG 320° DEG 36° DEG 304° DEG

2.14 METERS 25° DEG 292° DEG



CLIENT:

A. NAJDOVSKI

ADDRESS :

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PORTER DAVIS

Medibank Place
Level 10, 720 Bourke Street, Docklands Vic 3008
T (03) 8751 2700
F (03) 8751 2701
p orterdayis.com.au

SIGNATURES

Client:

Builder:

 JOB No.:
 PW-611302

 DATE:
 10/11/2020
 rev.

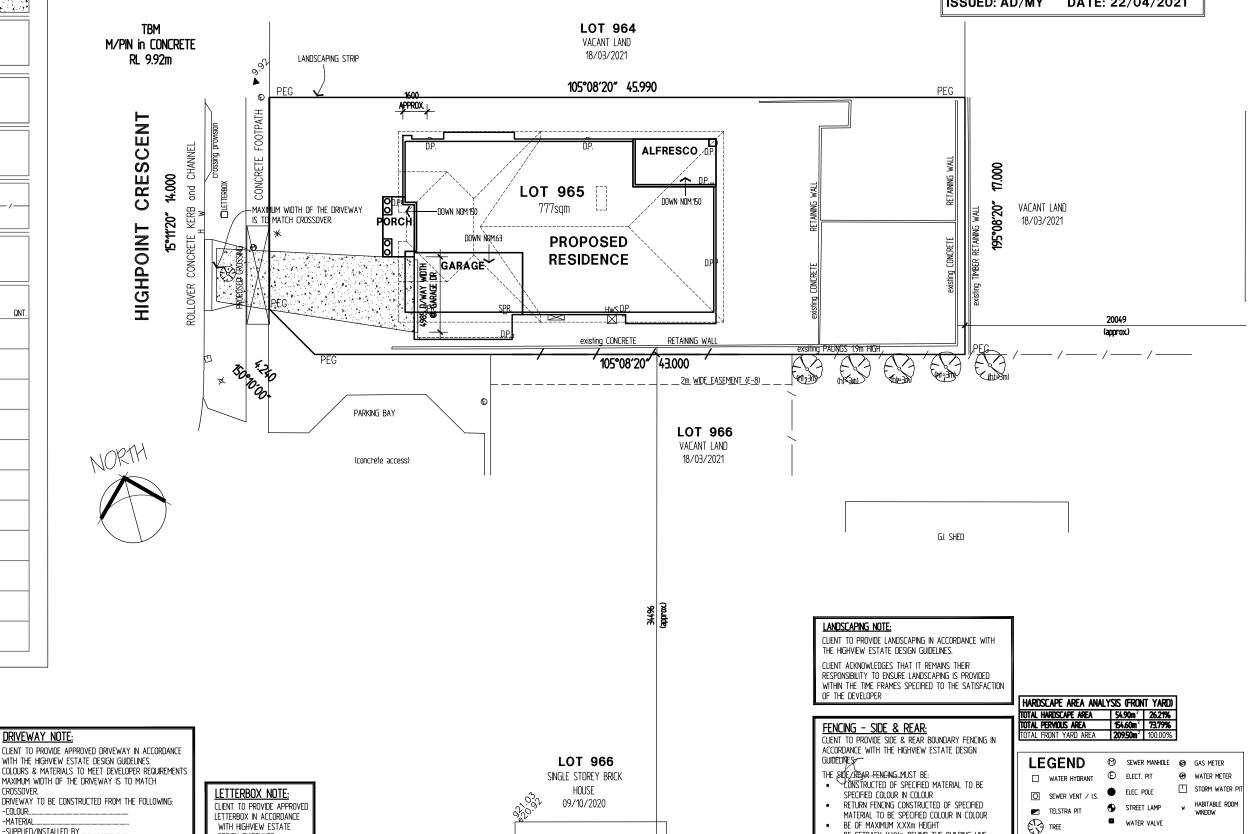
 SCALE:
 1250
 DRAWN:
 ALI

 SHEET
 2D
 OF
 20

# LANDSCAPING LEGEND DRIVEWAY TOPPINGS TYPE (EG. MULCH):.... LAWN OR TURF TYPE/SPECIES:... GARDEN BED EDGING TYPE (EG.TIMBER):..... BOUNDARY & WING FENCE SELECTED LETTERBOX PLANTING SCHEDULE LEGEND ANCILLARY ITEMS:

### LANDSCAPING PLAN

**CONSTRUCTION DRAWINGS** ISSUED: AD/MY DATE: 22/04/2021



CLIENT:

### A. NAJDOVSKI

ADDRESS :

LOT 965, (No.35), HIGHPOINT CRESCENT, HIGHTON

CLIENT TO PROVIDE ANCILLARY ITEMS IN ACCORDANCE WITH

Ancillary items such as cloths lines, rainwater tanks, hot water services, satellite dishes, bin

AREAS ETC NOT TO BE VISIBLE FROM THE STREET

SOLAR PANELS MUST LOCATED TO HAVE LEAST

AIR CONDITIONING UNITS TO BE LOW PROFILE AND

VISIBLE IMPACT TO THE PUBLIC REALM

MUST NOT BE VISIBLE FROM PUBLIC REALM

SERVICE PROVISIONS AND METERS SLICH AS

GAS/WATER/NBN SHOULD BE APPROPRIATELY

DRIVEWAY NOTE:

-SUPPLIED/INSTALLED BY...

OTAL AREA 54.90m2

TROSSOVER.

-MATFRIAI

THE HIGHVIEW ESTATE DESIGN GUIDELINES.

SCREENED FROM PUBLIC VIEW

This drawing is sheet no. \_\_\_\_ of \_\_\_\_ drawings referred to in this contract agreement dated

Design Guidelines.

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Builder:

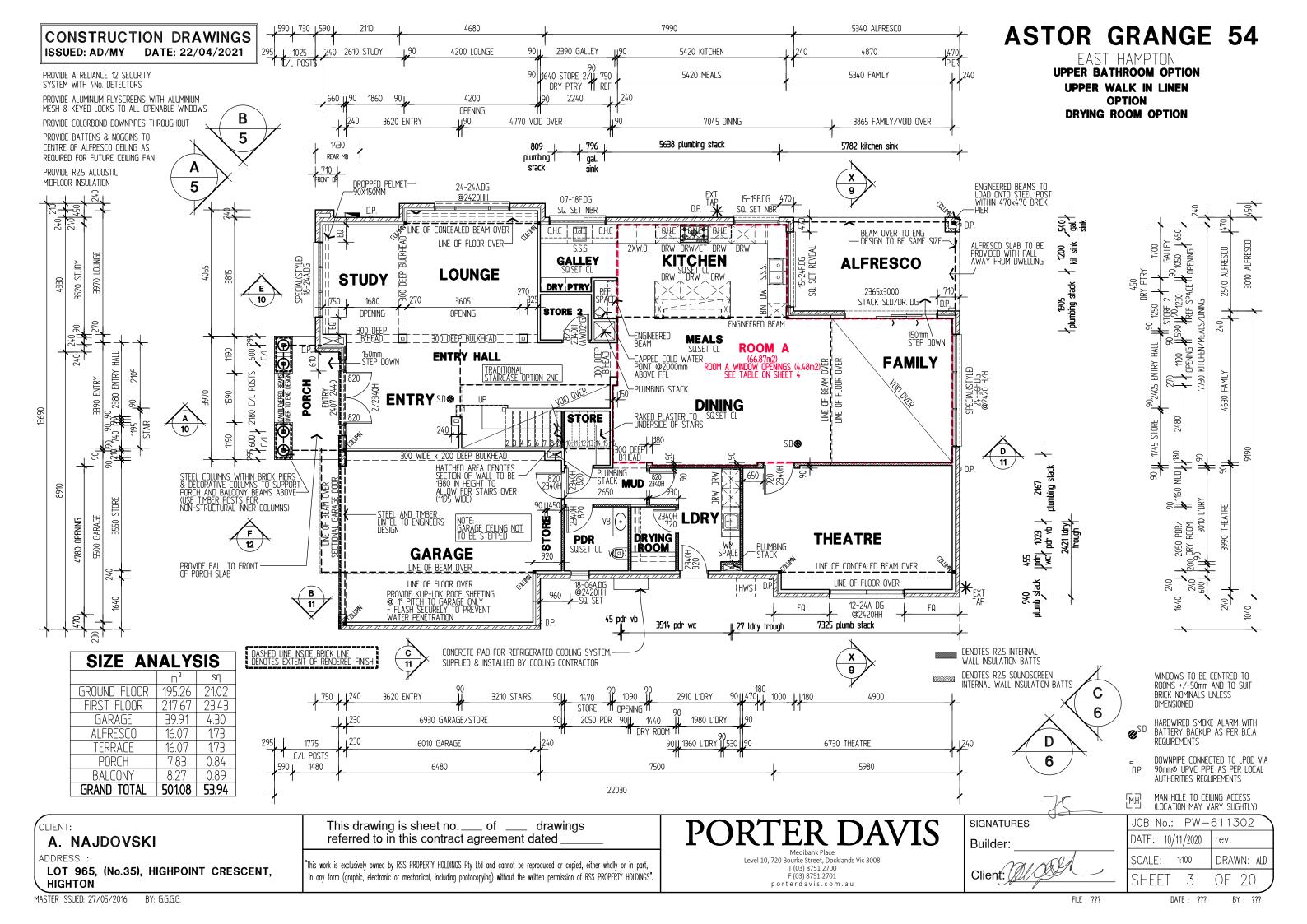
BE SETBACK X.XXm BEHIND THE BUILDING LINE

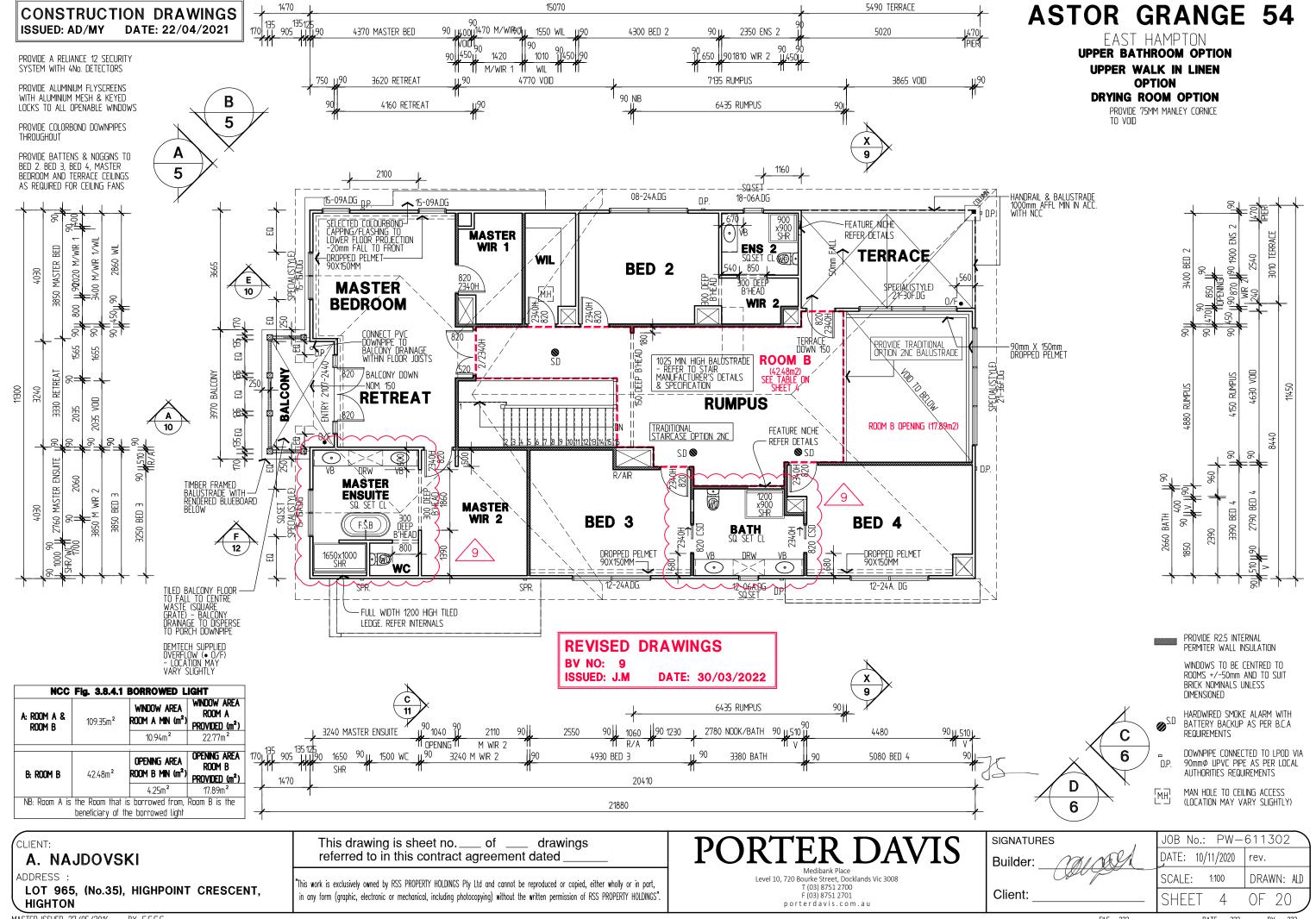
**SIGNATURES** 

JOB No.: PW-611302 DATE: 10/11/2020 | rev. SCALE: DRAWN: ALI

₩ S/W PROPERTY INLET

✓ STREET SIGN





## CONSTRUCTION DRAWINGS ISSUED: AD/MY DATE: 22/04/2021

### NOTE:

SET ALL GROUND FLOOR WINDOWS AT 2420mm NOMINAL HEAD HEIGHT ABOVE FLOOR LEVEL (UNLESS NOTED OTHERWISE)

SET ALL FIRST FLOOR WINDOWS UNDER EAVE LINE (UNLESS NOTED OTHERWISE)

PROVIDE ALUMINIUM FLYSCREENS WITH ALUMINIUM MESH & KEYED LOCKS TO ALL OPENABLE WINDOWS

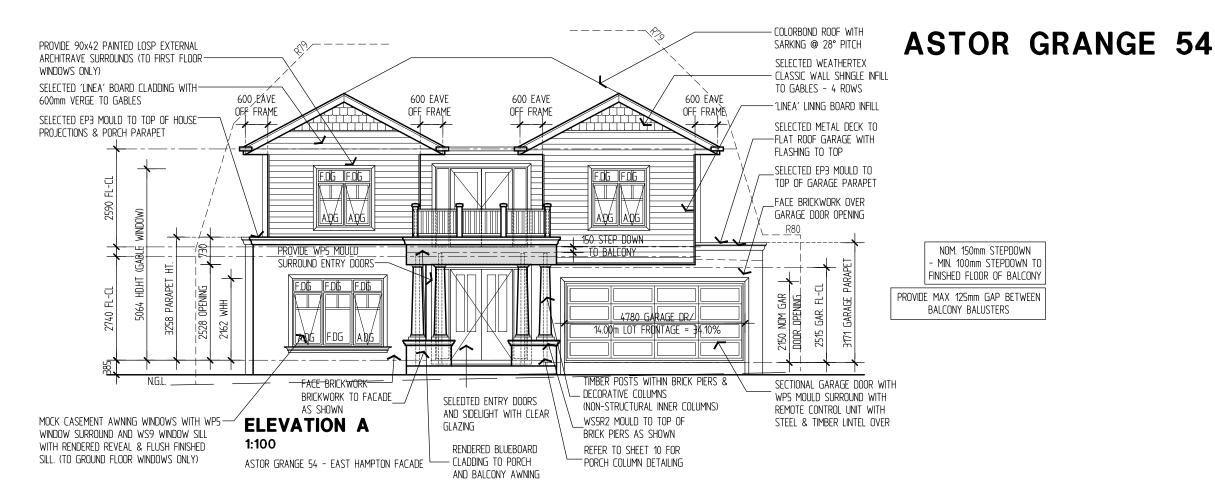
RENDER COLOUR 1 TO BALCONY/PORCH PROJECTION

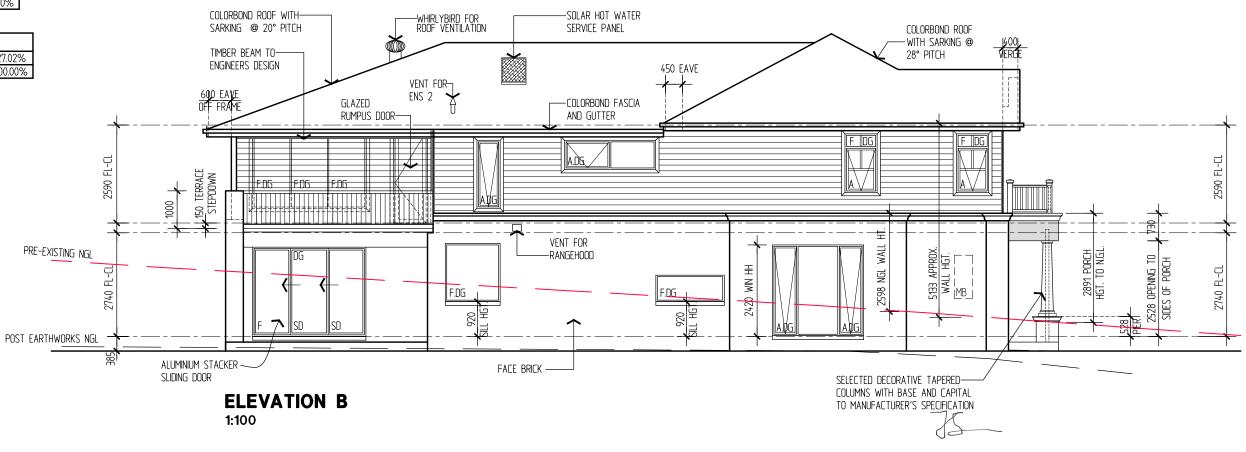
DWELLING FACADE ANALYSIS			
FACE BRICKWORK	8.92m²	24.34%	
render finish	2.12m²	5.78%	
LINEA CLADDING/SHINGLE INFILL	25.61m²	69.88%	
TOTAL FACADE AREA (EXCLUDING OPENINGS)	36.65m²	100.00%	

FACADE MATERIAL ANALYSIS		
FACE BRICKWORK	23.61m²	48.65%
RENDER COLOUR 1	3.40m²	7.01%
RENDER COLOUR 2(LINEA CLADDING/SHINGLE INFILL)	21.52m²	44.34%
TOTAL FACADE AREA (EXCLUDING OPENINGS)	48.53m²	100.00%

GARAGE DOOR AREA	ANALYSIS	
GARAGE DOOR	12.80m²	15.70%
TOTAL FACADE AREA (EXCLUDING ROOF)	81.53m²	100.00%

FACADE WINDOW AREA	ANALYSIS	
TOTAL WINDOWS	18.57m²	27.02%
TOTAL FACADE AREA (EVILLIDADE GARAGE DOOR)	68.73m²	100.00%





#### CLIENT:

### A. NAJDOVSKI

ADDRESS :

LOT 965, (No.35), HIGHPOINT CRESCENT, HIGHTON

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## PORTER DAVIS

Medibank Place Level 10, 720 Bourke Street, Docklands Vic 3008 T (03) 8751 2700 F (03) 8751 2701 SIGNATURES
Builder:

JOB No.: PW-611302

DATE: 10/11/2020 rev.

SCALE: 1:100 DRAWN: ALD

SHEET 5 OF 20

MASTER ISSUED: 27/05/2016 BY: G.G.G.G.

DATE . 222

### CONSTRUCTION DRAWINGS ISSUED: AD/MY DATE: 22/04/2021

### **ASTOR GRANGE 54**

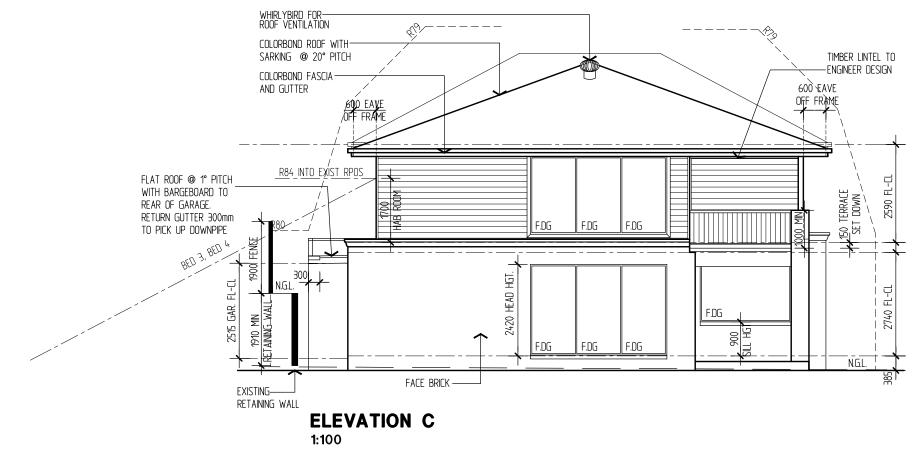
### NOTE:

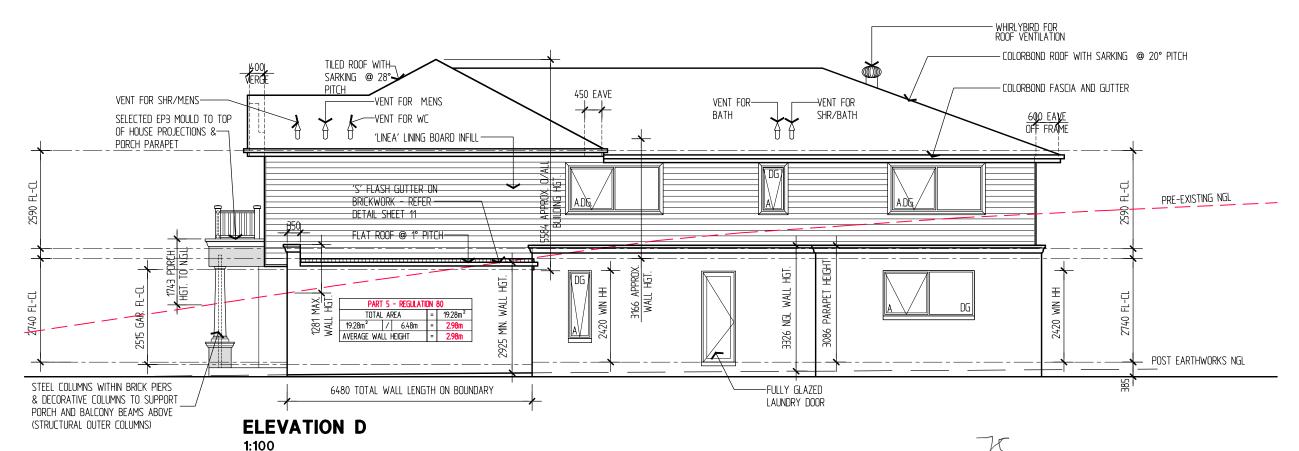
SET ALL GROUND FLOOR WINDOWS AT 2420mm NOMINAL HEAD HEIGHT ABOVE FLOOR LEVEL (UNLESS NOTED OTHERWISE)

SET ALL FIRST FLOOR WINDOWS UNDER EAVE LINE (UNLESS NOTED OTHERWISE)

PROVIDE ALUMINIUM FLYSCREENS WITH ALUMINIUM MESH & KEYED LOCKS TO ALL OPENABLE WINDOWS

RENDER COLOUR 1 TO BALCONY/PORCH PROJECTION





#### CLIENT:

### A. NAJDOVSKI

ADDRESS :

LOT 965, (No.35), HIGHPOINT CRESCENT, HIGHTON

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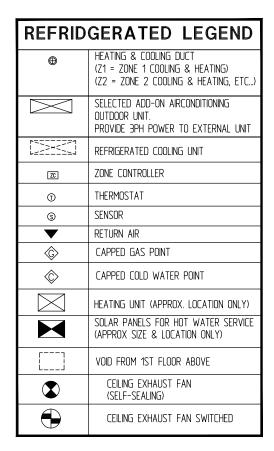
Medibank Place Level 10, 720 Bourke Street, Docklands Vic 3008 T (03) 8751 2700 F (03) 8751 2701

SIGNATURES

Builder:

JOB No.: PW-611302 DATE: 10/11/2020 rev. SCALE: DRAWN: ALD 6

### **HEATING & COOLING LAYOUT**





LOCATION OF ALL ELECTRICAL & SERVICE POINTS ARE APPROXIMATE ONLY, AND ARE SUBJECT TO POSITION OF STRUCTURAL MEMBERS ON PLAN.

PROVIDE CAPPED COLD WATER POINT TO CEILING FOR SOLAR HOT WATER SERVICE PANELS.

PROVIDE 8NO. ZONE CONTROLS TO DUCTED HEATING SYSTEM. DOWNSTAIRS AND UPSTAIRS TO BE VARIABLE.

PROVIDE BRIVIS ME351 HEATING SYSTEM WITH BRIVIS 21KW ADD ON AIR CONDITIONING.

PROVIDE ADVANCED SECURITY 12 - 4 SENSOR

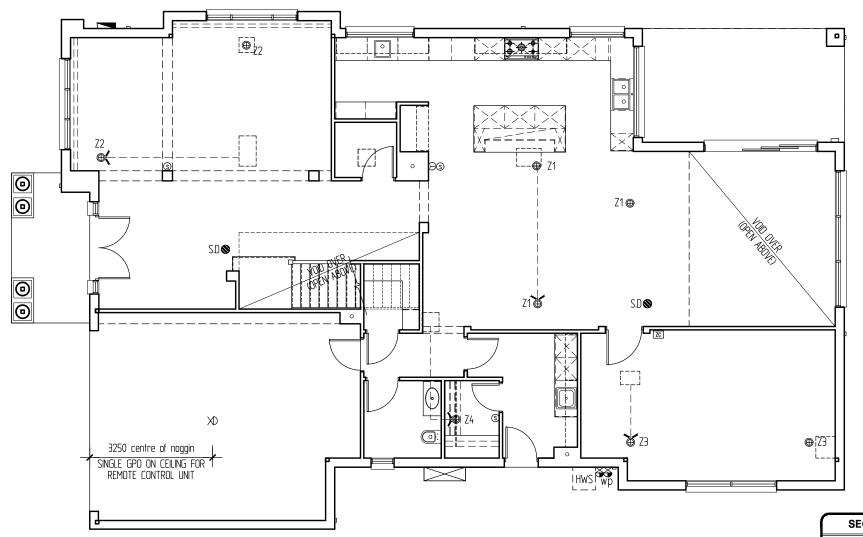
#### NOTE:

PROVIDE 3 PHASE UNDERGROUND CONNECTION INCLUDING UPGRADE OF CIRCUIT BOARD AND ISOLATING SWITCHES .

### NBN CO FIBRE-OPTIC BASIC FIBRE PACK

ALL WIRING TO BE INSTALLED IN ACCORDANCE WITH NBN CO. FIBRE-OPTIC-BASIC-FIBRE PACK WITH ENCLOSURE WIRING REQUIREMENTS. AS OUTLINED IN THE DESIGN GUBECINES

### REFER TO ADAPTO PLANS FOR EXACT LOCATIONS & INCLUSIONS



SECURITY SYSTEM PACKAGE

PRIVIDE HILLS RELIANCE 12 SYSTEM WITH 3 SENSOR LOCATIONS - BLUE LIGHT FRONT OF HOUSE, SIRENS & LCD KEYPAD

CLIENT:

### A. NAJDOVSKI

ADDRESS :

LOT 965, (No.35), HIGHPOINT CRESCENT, HIGHTON

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## PORTER DAVIS

Medibank Place
Level 10, 720 Bourke Street, Docklands Vic 3008
T (03) 8751 2700
F (03) 8751 2701
p orterdavis.com.au

SIGNATURES
Builder:

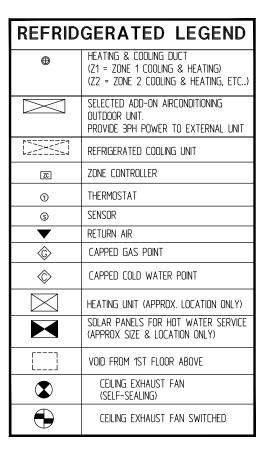
er: \_\_\_\_\_\_ t: \_\_\_\_\_\_\_ JOB No.: PW-611302

DATE: 10/11/2020 rev.

SCALE: 1:100 DRAWN: ALD

SHEET 7 OF 20

### **HEATING & COOLING LAYOUT**



### NOTES:

LOCATION OF ALL ELECTRICAL & SERVICE POINTS ARE APPROXIMATE ONLY, AND ARE SUBJECT TO POSITION OF STRUCTURAL MEMBERS ON PLAN.

PROVIDE CAPPED COLD WATER POINT TO CEILING FOR SOLAR HOT WATER SERVICE PANELS.

PROVIDE 8NO. ZONE CONTROLS TO DUCTED HEATING SYSTEM. DOWNSTAIRS AND UPSTAIRS TO BE VARIABLE.

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PROVIDE ADVANCED SECURITY 12 - 4 SENSOR

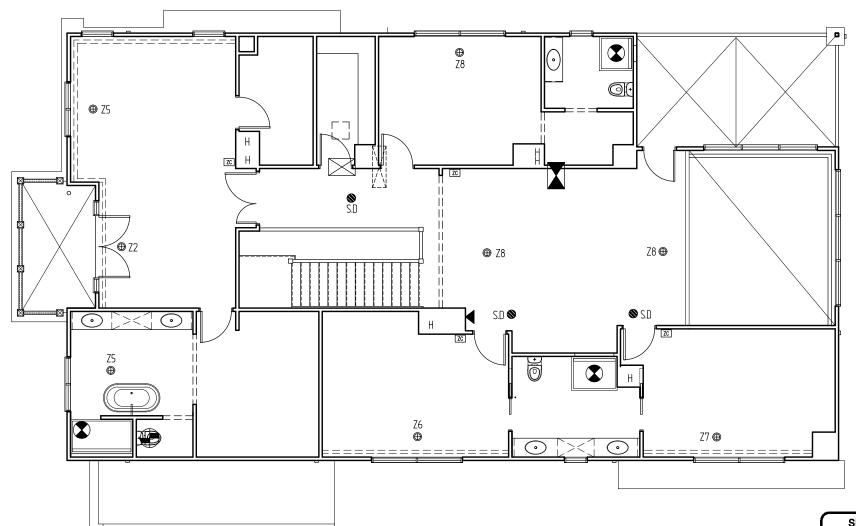
#### NOTE:

PROVIDE 3 PHASE UNDERGROUND CONNECTION INCLUDING UPGRADE OF CIRCUIT BOARD AND ISOLATING SWITCHES .

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ALL WIRING TO BE INSTALLED IN ACCORDANCE WITH NBN CO. FIBRE-OPTIC BASIC FIBRE PACK WITH ENCLOSURE WIRING REQUIREMENTS AS OUTLINED IN THE DESIGN GUIDELINES

### REFER TO ADAPTO PLANS FOR EXACT LOCATIONS & INCLUSIONS



#### SECURITY SYSTEM PACKAGE

PRIVIDE HILLS RELIANCE 12-SYSTEM WITH 3 SENSOR LOCATIONS - BLUE LIGHT FRONT OF HOUSE, SIRENS & LCD KEYPAD

CLIENT:

### A. NAJDOVSKI

ADDRESS :

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## PORTER DAVIS

Medibank Place Level 10, 720 Bourke Street, Docklands Vic 3008 T (03) 8751 2700 F (03) 8751 2701 p o r t e r d a v i s . c o m . a u Builder: \_\_\_\_\_

SIGNATURES

JOB No.: PW-	611302
DATE: 10/11/2020	rev.
SCALE: 1:100	DRAWN: ALI
SHEET 8	OF 20

BE VISIBLE FROM THE SET OF THE SE

VAPOUR BARRIER



**BRICK VENEER SLAB REBATE** 'H2' CLASS SLAB 385 FREEBOARD SCALE 1:20

> FOR BEAMS AND LINTELS SIZES REFER TO THE ENGINEERING PLANS AND DETAILS

### **ENERGY REQUIREMENTS:**

#### REQUIREMENTS AS PER FIRSTRATE ENERGY REPORT.

- WEATHER SEAL ENTRY DOOR

450 EAVE

2740

BED 4

THEATRE

10mm PLASTERBOARD

WALL LINING THROUGHOUT

- WAFFLE POD SLAB CONSTRUCTION
- WALL INSULATION TO REACH R2.5 + FOIL
- INTERNAL PERIMETER WALL INSULATION TO LAUNDRY, POWDER, MASTER ENTRY, MASTER WIR 1, WIR 2, BED 3, BED 4 AND BATHROOM TO REACH R2.5
- SOUND SCREEN INSULATION TO NOMINATED THEATRE WALLS TO REACH R2.5
- CEILING INSULATION TO REACH R7.0
- SINGLE GLAZING TO ENTRY SIDELIGHTS, MASTER BED SIDELIGHTS AND ALL GLAZED CASEMENT DOORS
- DOUBLE GLAZING TO FAMILY SLIDING GLAZED DOOR AND ALL OTHER WINDOWS
- U AND SHGC VALUES AS PER CERTIFICATE
- PLEASE NOTE THAT NO FLOOR COVERINGS BEYOND TILES TO WET AREAS HAVE BEEN TAKEN INTO CONSIDERATION WHEN COMPLETING THIS ENERGY REPORT. IF FLOOR COVERINGS ARE ADDED IN THE FUTURE THIS ENERGY REPORT WILL NEED TO BE
- UPDATED TO ENSURE 6 STAR COMPLIANCE IS MAINTAINED. - MAXIMUM 600MM CEILING INSULATION PERIMETER
- REDUCED TO R2.5 IN ACCORDANCE WITH AS3999



┰┸

SELECTED BALUSTRADE

IN ACC. WITH NCC

TERRACE 🚐

**ALFRESCO** 

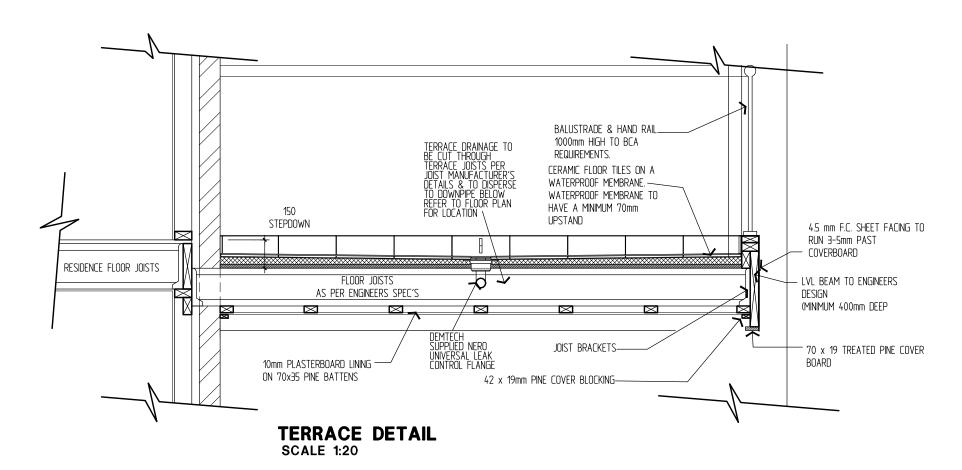
10mm 'SUPERSEAL' OR SIMILAR —

VOID

**FAMILY** 

CONCRETE SLAB TO

PLASTERBOARD LINING





### CLIENT:

### A. NAJDOVSKI

ADDRESS :

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	Byilder:
k	
	Client:

JOB No.: PW-	611302
DATE: 10/11/2020	rev.
SCALE: 1:20,1:100	DRAWN: ALD
SHEET 9	OF 20

COLORBOND ROOF WITH SARKING-

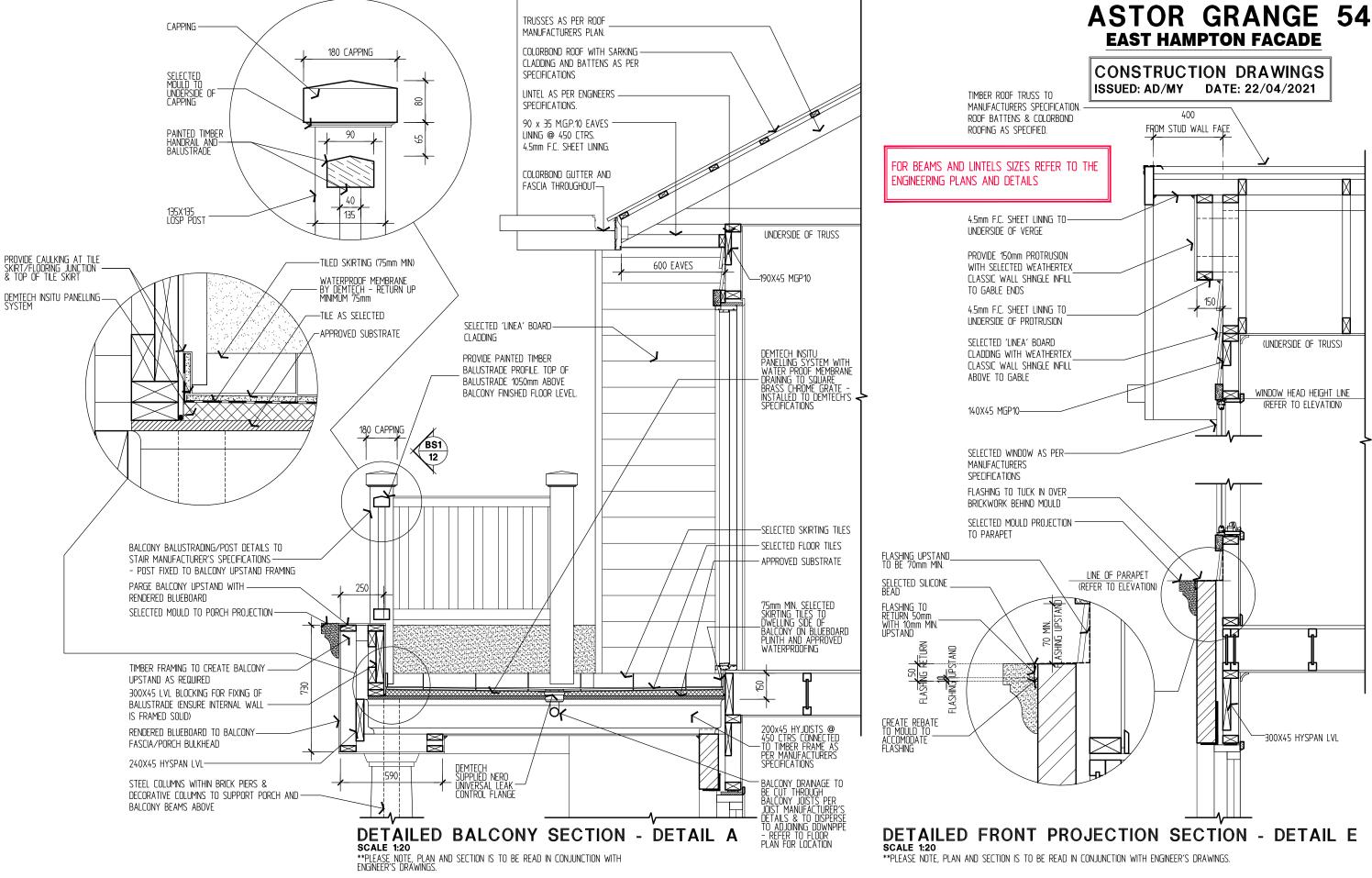
600 EAVE

OFF FRAME

@ 20° PITCH ON TIMBER ROOF TRUSSES AS PER MANUFACTURERS

DESIGN @ 600 CTS

COLORBOND GUTTER-FASCIA AND DOWNPIPES



CLIENT:

### A. NAJDOVSKI

ADDRESS :

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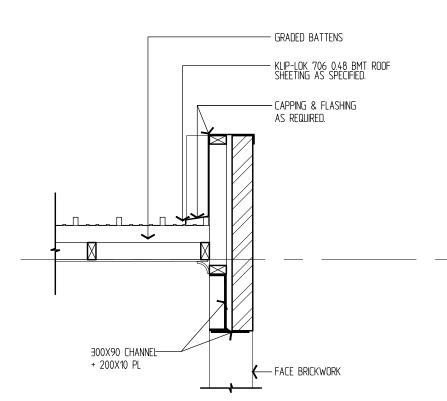
Medibank Place Level 10, 720 Bourke Street, Docklands Vic 3008 T (03) 8751 2700 F (03) 8751 2701

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Builder:	DAT
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Client	SH

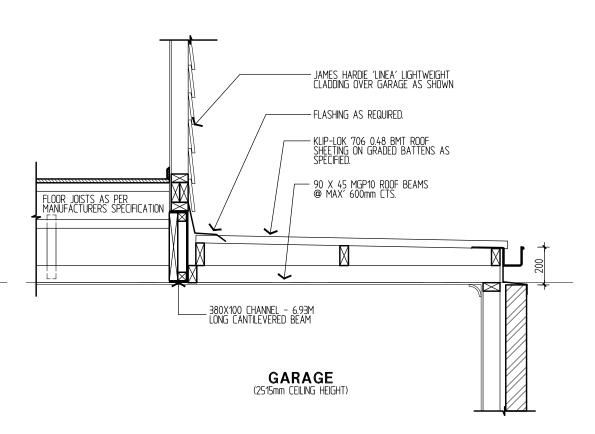
	JOB No.:		611302
	DATE: 10/11	/2020	rev.
	SCALE: 1:20		DRAWN: ALD
	SHEET	10	OF 20
DATE: ??? BY: ???			

## ASTOR GRANGE 54 EAST HAMPTON FACADE

FOR BEAMS AND LINTELS SIZES REFER TO THE ENGINEERING PLANS AND DETAILS

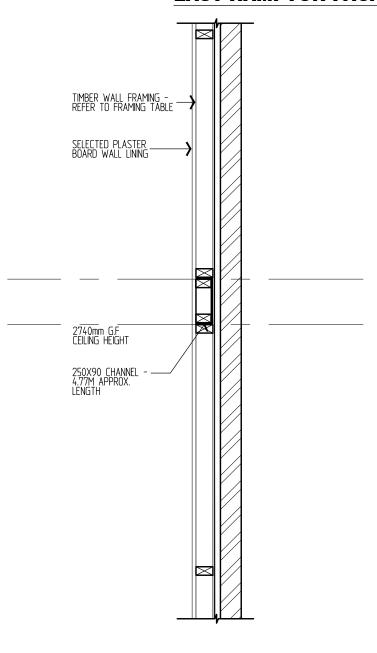


GARAGE PARAPET - DETAIL B
SCALE 1:20
\*\*\*PLEASE NOTE, PLAN AND SECTION IS TO BE READ IN CONJUNCTION WITH ENGINEER'S DRAWINGS.



GARAGE WALL/UPPER FLOOR - DETAIL C

\*\*PLEASE NOTE, PLAN AND SECTION IS TO BE READ IN CONJUNCTION WITH ENGINEER'S DRAWINGS



FAMILY VOID - DETAIL D

\*\*PLEASE NOTE, PLAN AND SECTION IS TO BE READ IN CONJUNCTION WITH ENGINEER'S DRAWINGS.

GARAGE FLOOR LEVEL

DWELLING FLOOR LEVEL

CLIENT:

A. NAJDOVSKI

ADDRESS :

LOT 965, (No.35), HIGHPOINT CRESCENT, HIGHTON

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PORTER DAVIS

Medibank Place Level 10, 720 Bourke Street, Docklands Vic 3008 T (03) 8751 2700 F (03) 8751 2701 SIGNATURES

Builder: \_\_\_\_\_

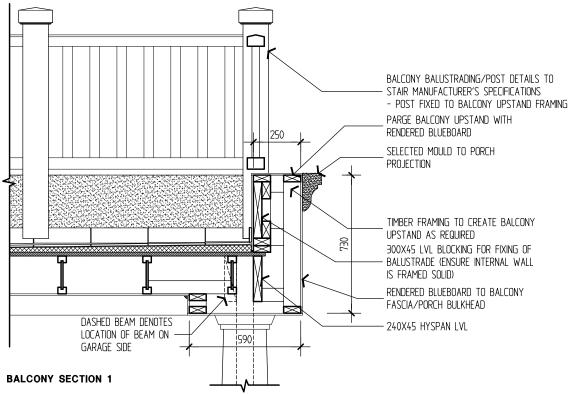
Client: \_\_\_\_\_

JOB No.: PW-611302

DATE: 10/11/2020 rev.

/SCALE: 120 DRAWN: ALL

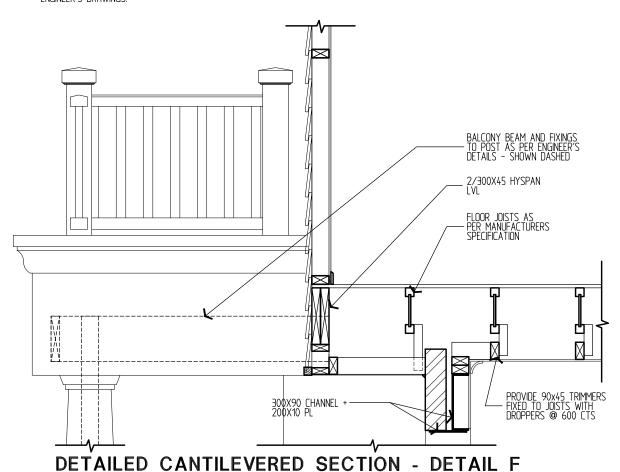
SCHEET 11 OF 20



### **BALCONY DETAILING**

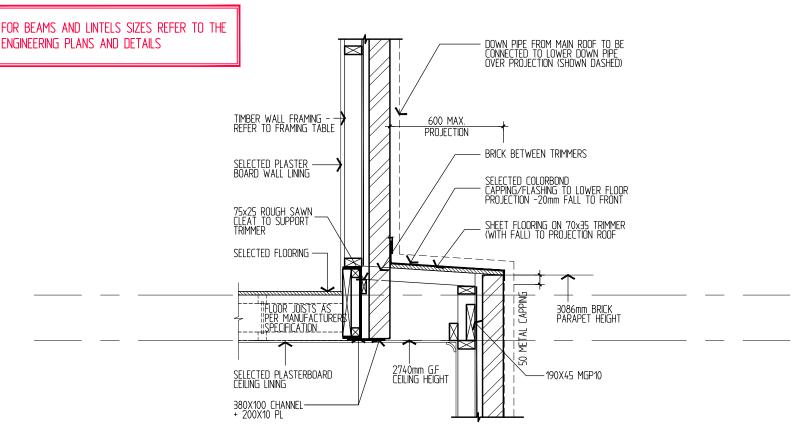
SCALE 1:20

\*\*PLEASE NOTE, PLAN AND SECTION IS TO BE READ IN CONJUNCTION WITH ENGINEER'S DRAWINGS.



CONSTRUCTION DRAWINGS ISSUED: AD/MY DATE: 22/04/2021

## ASTOR GRANGE 54 EAST HAMPTON FACADE



### TYPICAL PROJECTION DETAIL

\*\*PLEASE NOTE, PLAN AND SECTION IS TO BE READ IN CONJUNCTION WITH ENGINEER'S DRAWINGS.

DWELLING FLOOR LEVEL

#### CLIENT:

### A. NAJDOVSKI

SCALE 1:20

ADDRESS :

LOT 965, (No.35), HIGHPOINT CRESCENT, HIGHTON

\*\*PLEASE NOTE, PLAN AND SECTION IS TO BE READ IN CONJUNCTION WITH ENGINEER'S DRAWINGS.

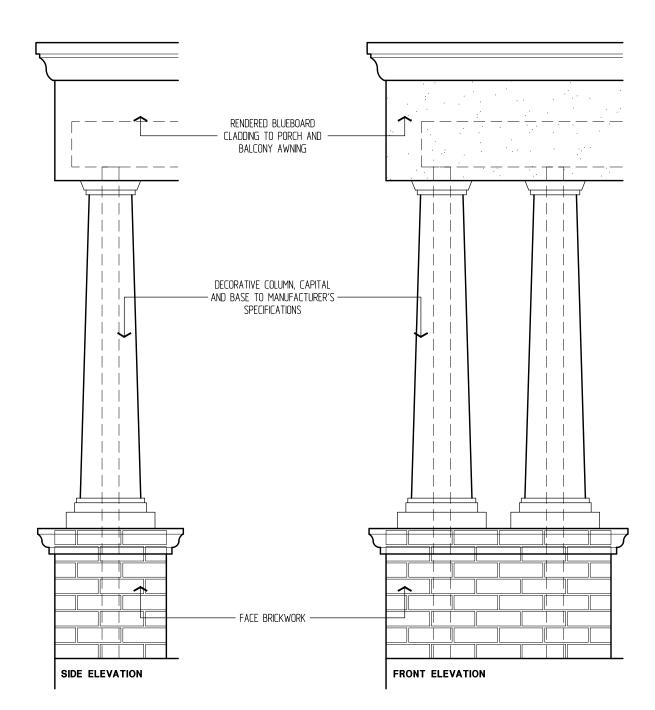
This drawing is sheet no. \_\_\_\_ of \_\_\_ drawings referred to in this contract agreement dated \_\_\_\_

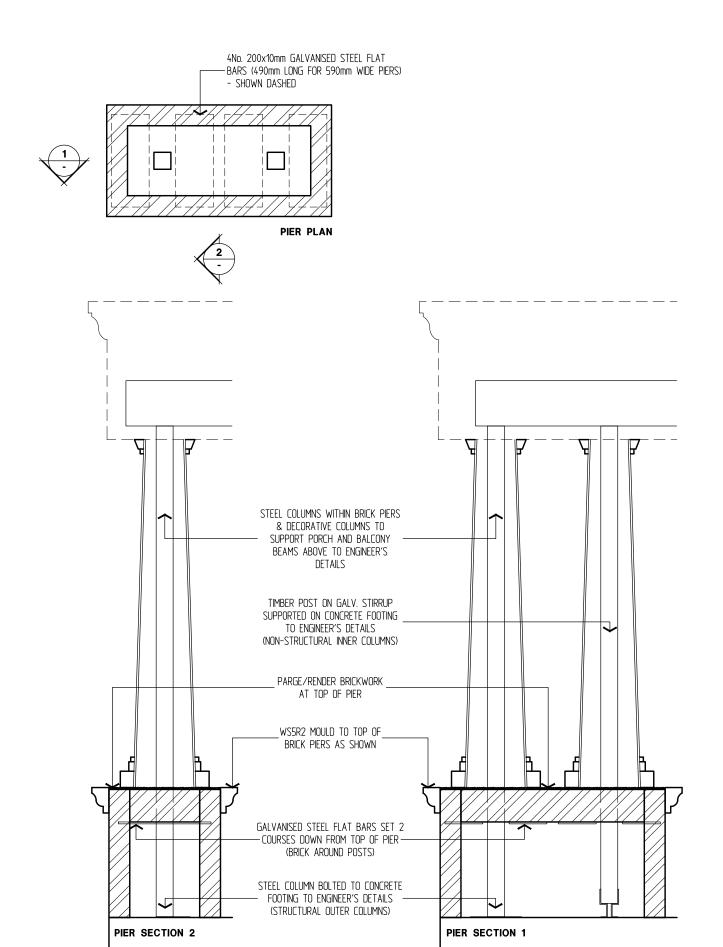
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## PORTER DAVIS

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FOR BEAMS AND LINTELS SIZES REFER TO THE ENGINEERING PLANS AND DETAILS





1190x590 BALCONY PIER/COLUMN DETAILS

SCALE 1:20

### CLIENT: A. NAJDOVSKI

ADDRESS :

LOT 965, (No.35), HIGHPOINT CRESCENT, HIGHTON

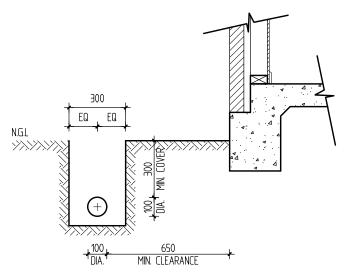
This drawing is sheet no. \_\_\_\_ of \_\_\_\_ drawings referred to in this contract agreement dated

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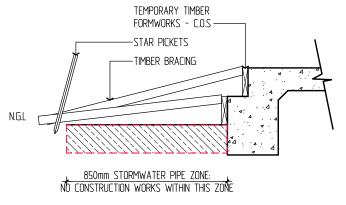
JOB No.: PW-611302 SIGNATURES DATE: 10/11/2020 rev. Builder: Client:

DRAWN: ALI



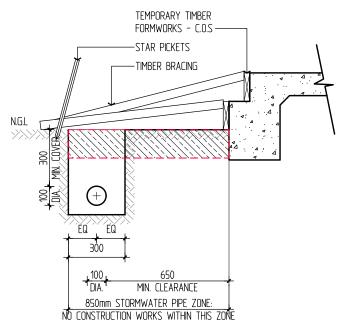
 $\underline{\text{NOTE:}}$  if site conditions justify that this cannot be adhered to, details are to be communicated to the construction supervisor.

### DRAINAGE PIPE EXCLUSION ZONE SCALE 1:20



NOTE: IF SITE CONDITIONS JUSTIFY THAT THIS CANNOT BE ADHERED TO, DETAILS ARE TO BE COMMUNICATED TO THE CONSTRUCTION SUPERVISOR.

### STAR PICKET DETAIL SCALE 1:20



NOTE: IF SITE CONDITIONS JUSTIFY THAT THIS CANNOT BE ADHERED TO, DETAILS ARE TO BE COMMUNICATED TO THE CONSTRUCTION SUPERVISOR.

### DRAINAGE PIPE EXCLUSION ZONE SCALE 1:20

CLIENT:

A. NAJDOVSKI

ADDRESS :

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SIGNATURES

Builder:

JOB No.: PW-611302 DATE: 10/11/2020 rev. SCALE: 1:20 DRAWN: ALI

MASTER ISSUED: 27/05/2016 BY: G.G.G.G.

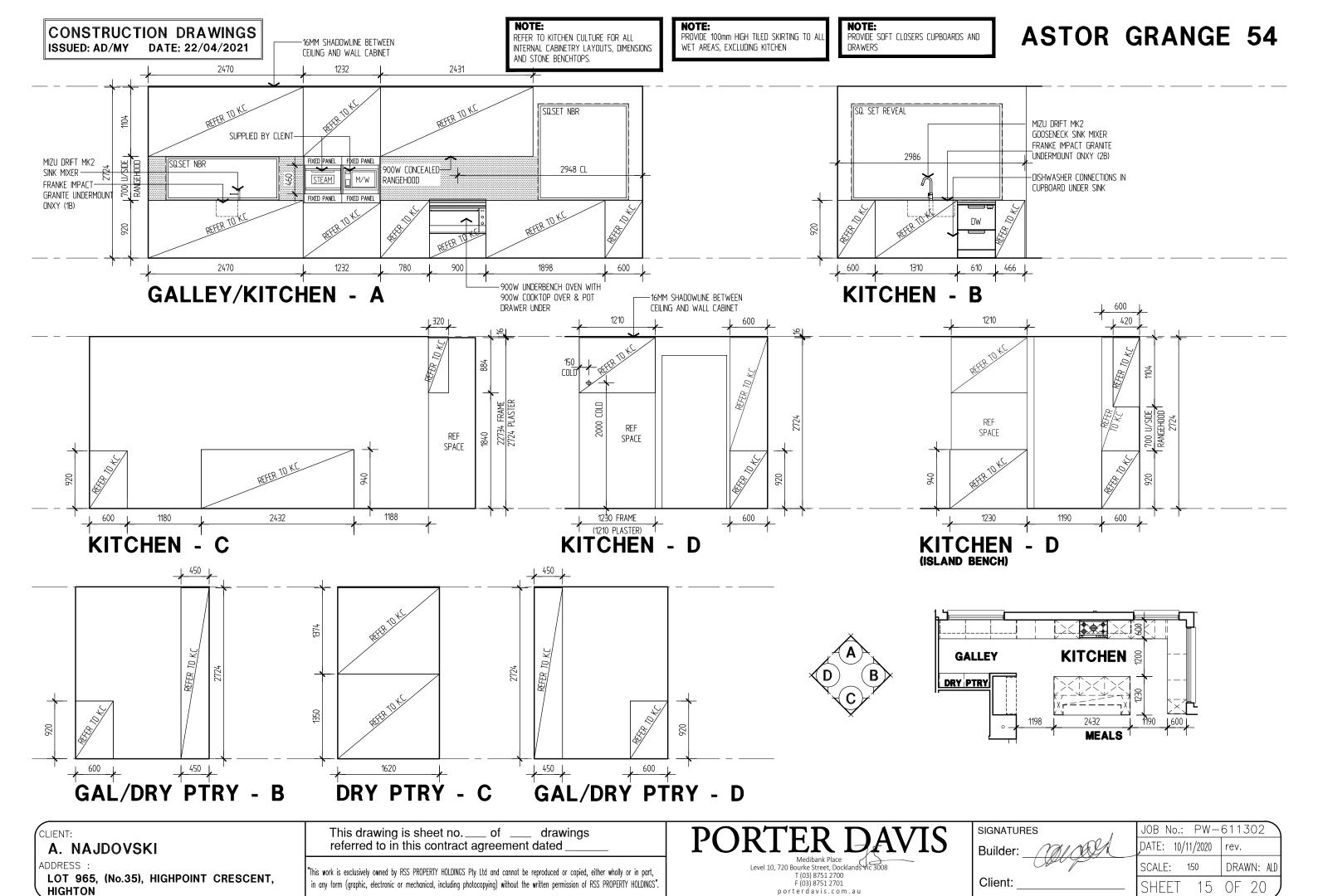
**ASTOR GRANGE 54** 

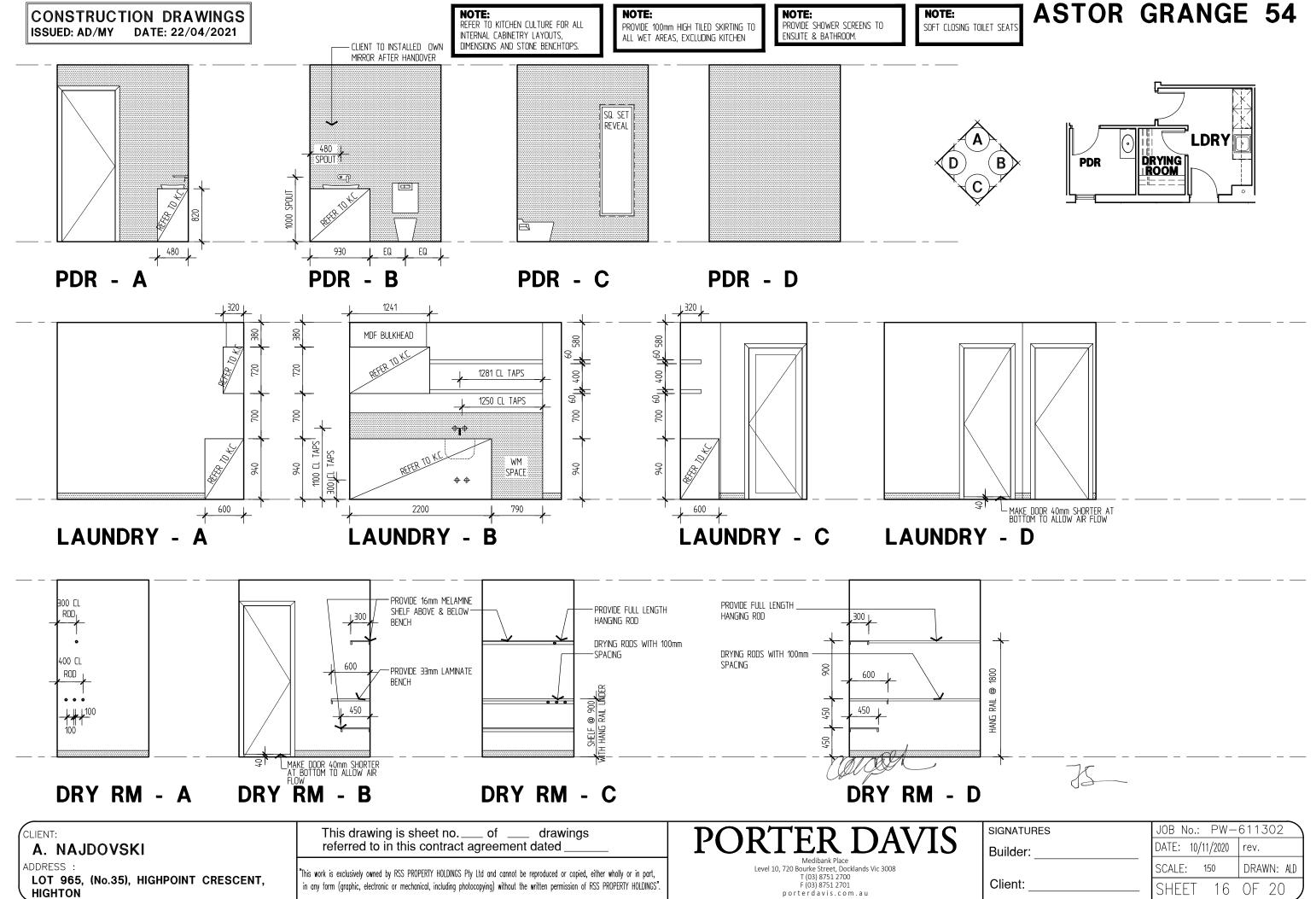
CONSTRUCTION DRAWINGS

FOR BEAMS AND LINTELS SIZES REFER TO THE

ENGINEERING PLANS AND DETAILS

ISSUED: AD/MY DATE: 22/04/2021







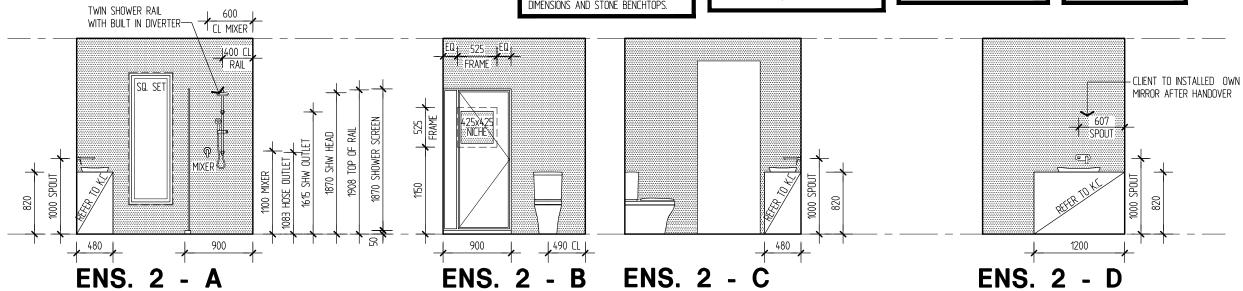
NOTE:
REFER TO KITCHEN CULTURE FOR ALL
INTERNAL CABINETRY LAYOUTS,
DIMENSIONS AND STONE BENCHTOPS.

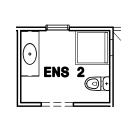
**NOTE:**PROVIDE 100mm HIGH TILED SKIRTING TO ALL WET AREAS, EXCLUDING KITCHEN

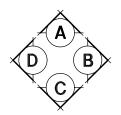
NOTE:
PROVIDE SHOWER SCREENS TO
ENSUITE & BATHROOM.

NOTE: SOFT CLOSING TOILET SEATS

**ASTOR GRANGE 54** 





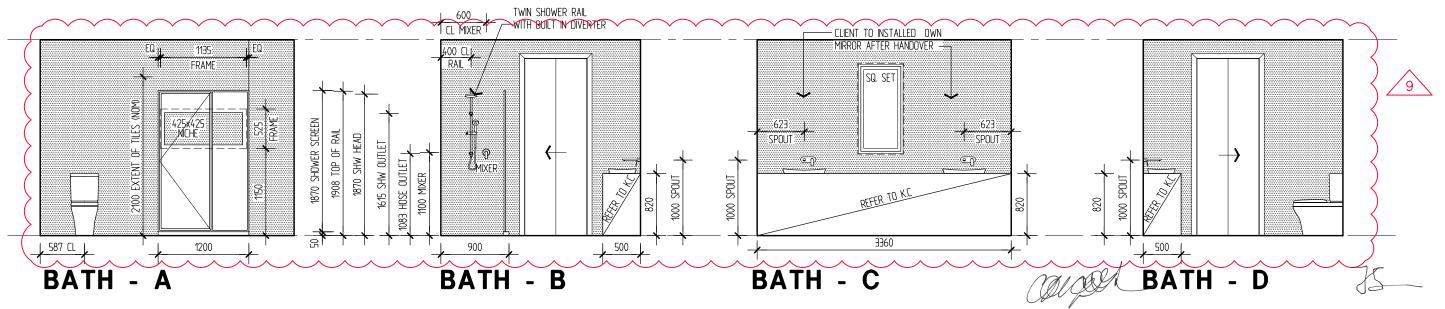




**REVISED DRAWINGS** 

BV NO: 9 ISSUED: J.M

DATE: 30/03/2022



CLIENT:

### A. NAJDOVSKI

ADDRESS :

LOT 965, (No.35), HIGHPOINT CRESCENT, HIGHTON

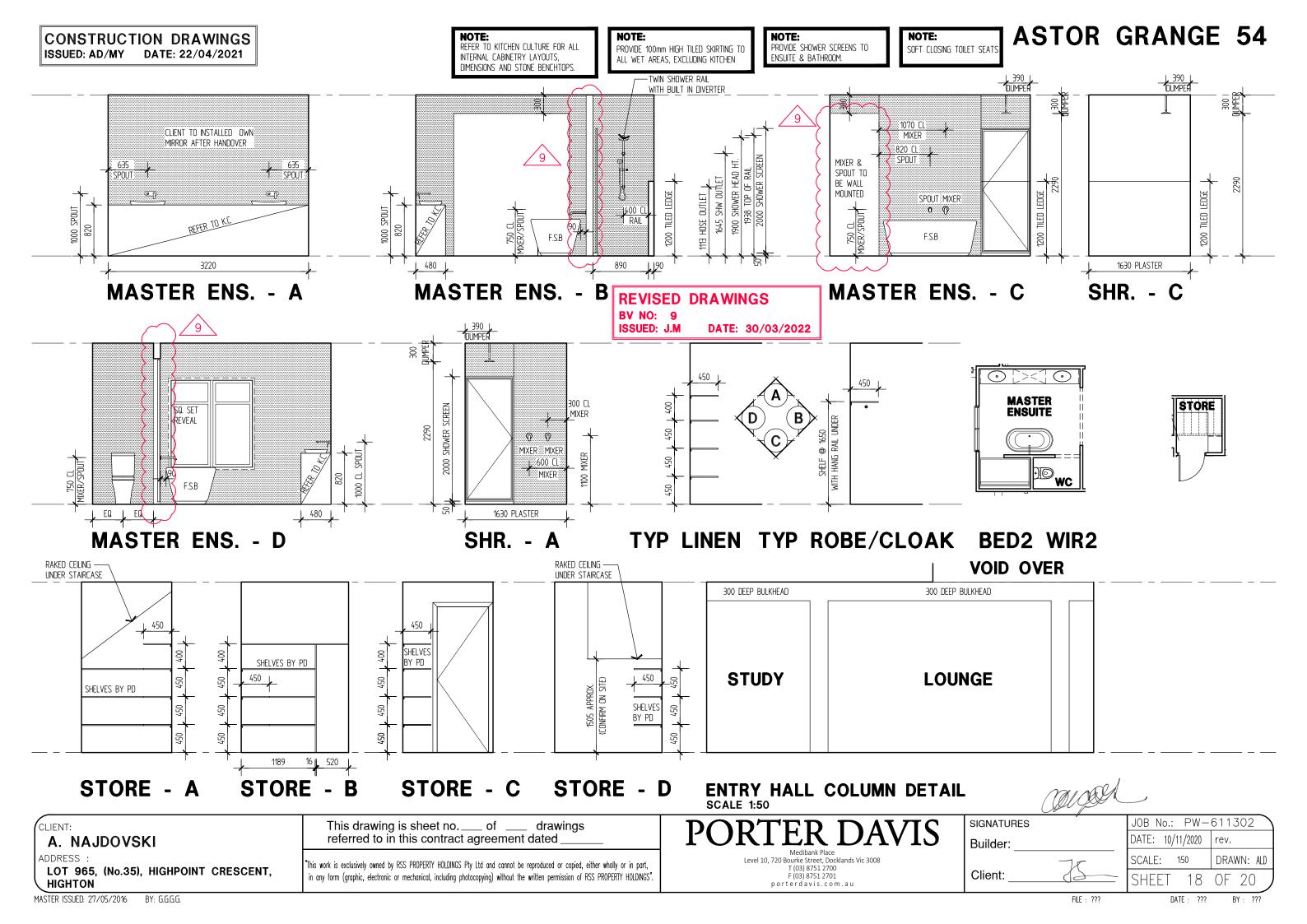
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## PORTER DAVIS

Medibank Place Level 10, 720 Bourke Street, Docklands Vic 3008 T (03) 8751 2700 F (03) 8751 2701

SIGNATURES	JOB No.: PW-	611302
Builder:	DATE: 10/11/2020	rev.
	SCALE: 1:50	DRAWN: #
Client:	SHEET 17	OF 20

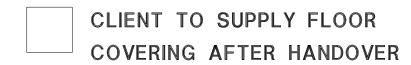


NOTE:

HATCHED PATTERNS ARE INDICATIVE OF FLOORING AREAS AND ARE TO BE USED AS A GUIDE ONLY

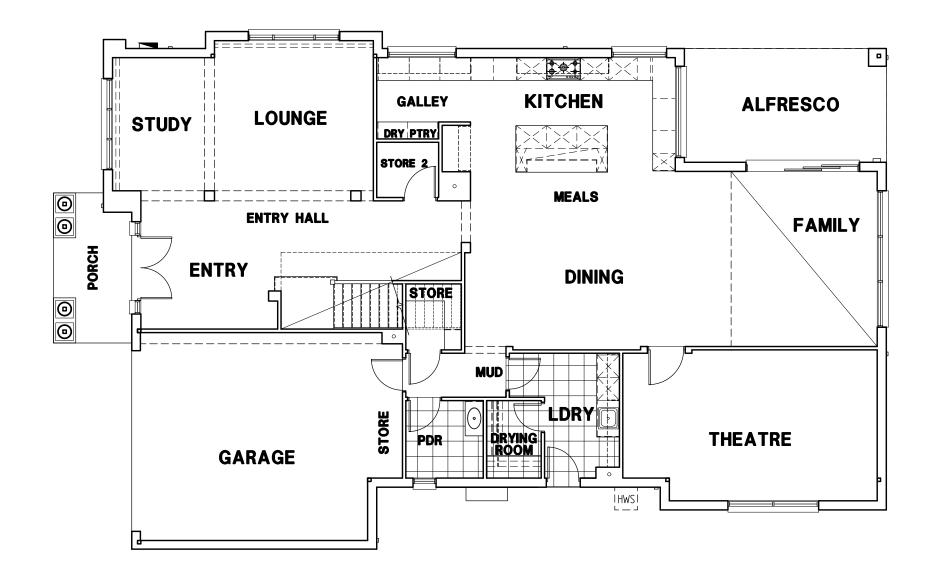






#### NOTE:

CLIENTS TO INSTALL OWN FLOORING AFER HANDOVER, EXCLUDING WET AREAS. NOTE: SKIRTING TO BE DELIVERED TO SITE AND LEFT UN-INSTALLED, UN-CUT AND UN-PAINTED NOTE: PORTER DAVIS TAKE NO RESPONSIBITITY FOR ANY DAMAGE, MAINTENANCE OR LOSS OF PROPERTY INCURRED AS A RESULT OF THE CLIENT'S REQUEST



JS

CLIENT:

A. NAJDOVSKI

ADDRESS :

LOT 965, (No.35), HIGHPOINT CRESCENT, HIGHTON

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JOB No.: PW-611302 SIGNATURES DATE: 10/11/2020 | rev. Builder: DRAWN: ALD Client: 19

CONSTRUCTION DRAWINGS ISSUED: AD/MY DATE: 22/04/2021

**REVISED DRAWINGS** 

**BV NO: 9** 

ISSUED: J.M

**DATE:** 30/03/2022

### MASTER WIR 1 ENS 2 TERRACE WIL BED 2 **MASTER BEDROOM** RETREAT **RUMPUS** <u></u> MASTER ENSUITE **MASTER** WIR 2 BED 3 BED 4 BATH ∕9\ $\odot$ (·)

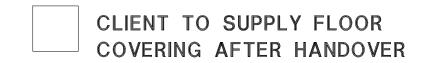
### **ASTOR GRANGE 54**

NOTE:

HATCHED PATTERNS ARE INDICATIVE OF FLOORING AREAS AND ARE TO BE USED AS A GUIDE ONLY

### LEGEND





#### NOTE:

CLIENTS TO INSTALL OWN FLOORING AFER HANDOVER, EXCLUDING WET AREAS. NOTE: SKIRTING TO BE DELIVERED TO SITE AND LEFT UN-INSTALLED, UN-CUT AND UN-PAINTED NOTE: PORTER DAVIS TAKE NO RESPONSIBITITY FOR ANY DAMAGE, MAINTENANCE OR LOSS OF PROPERTY INCURRED AS A RESULT OF THE CLIENT'S REQUEST

JS\_

CLIENT:

A. NAJDOVSKI

ADDRESS :

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SIGNATURES	JOB No.: PW-	6113
Builder:	DATE: 10/11/2020	rev.
	SCALE: 1:100	DRAV
Client:	SHFFT 20	OF