

PROPOSED MULTI UNIT DEVELOPMENT - 154 BROADWAY (MELWAY REF 18K6)

CONTINGENT GROUP BUILDING PERMIT

CONSULTANTS

WD-01 GENERAL NOTES
WD-02 SITE PLAN
WD-03 GROUND FLOOR PLAN
WD-04 FIRST FLOOR PLAN
WD-05 SECOND FLOOR PLAN
WD-06 ROOF PLAN
WD-07 ELEVATIONS 1 OF 2
WD-08 ELEVATIONS 2 OF 2
WD-09 SECTION A,C
WD-10 SECTION B/DETAILS
WD-11 SECTION D,E,F
WD-12 WET AREA DETAILS
WD-13 DETAILS
WD-14 SECTION G, H & DETAIL
WD-15 WET AREA DETAILS
WD-16 WET AREA DETAILS
WD-17 GROUND F. LIGHTING PLANS
WD-18 FIRST AND SECOND F. LIGHTING PLANS
WD-19 WINDOW SCHEDULE
WD-20 SPECIFICATIONS

STRUCTURAL & CIVIL ENGINEER

SUNNY ENGINEERING
EMAIL: mdgroup168@gmail.com
PH: (07) 0405325828 JOB No: 11413 DATE: APRIL-18

GEO-TECHNICAL REPORT

SOUTHERN CROSS SOIL TESTING
10 CENTAURUS AVENUE, ROXBURGH PARK VIC 3064
PH: (03) 9308 8031 DATE: 26-03-2018

SITE CLASSIFICATION AS CLASS:	P
REFER TO SOIL REPORT NO:	230318.tb

GENERAL NOTES (NCC 2019 BCA VOL 2)
ALL MATERIALS AND WORK PRACTICES SHALL COMPLY WITH, BUT NOT LIMITED TO THE BUILDING REGULATIONS 2018, NATIONAL CONSTRUCTION CODE SERIES 2019 BUILDING CODE OF AUSTRALIA VOL 2 AND ALL RELEVANT CURRENT AUSTRALIAN STANDARDS (AS AMENDED) REFERRED TO THEREIN.

UNLESS OTHERWISE SPECIFIED, THE TERM BCA SHALL REFER TO NATIONAL CONSTRUCTION CODE SERIES 2019 BUILDING CODE OF AUSTRALIA VOLUME 2.

ALL MATERIALS AND CONSTRUCTION PRACTICE SHALL MEET THE PERFORMANCE REQUIREMENTS OF THE BCA. WHERE A PERFORMANCE SOLUTION IS PROPOSED THEN, PRIOR TO IMPLEMENTATION OR INSTALLATION, IT FIRST MUST BE ASSESSED AND APPROVED BY THE RELEVANT BUILDING SURVEYOR AS MEETING THE PERFORMANCE REQUIREMENTS OF THE BCA.

- GLAZING, INCLUDING SAFETY GLAZING, SHALL BE INSTALLED TO A SIZE, TYPE AND THICKNESS SO AS TO COMPLY WITH:
- BCA PART 3.6 FOR CLASS 1 AND 10 BUILDINGS WITHIN A DESIGN WIND SPEED OF NOT MORE THAN N3; AND
 - BCA VOL 1 PART B1.4 FOR CLASS 2 AND 9 BUILDINGS.

WATERPROOFING OF WET AREAS, BEING BATHROOMS, SHOWERS, SHOWER ROOMS, LAUNDRIES, SANITARY COMPARTMENTS AND THE LIKE SHALL BE PROVIDED IN ACCORDANCE WITH AS 3740-2010: WATERPROOFING OF DOMESTIC WET AREAS.

THESE DRAWINGS SHALL BE READ IN CONJUNCTION WITH ANY HOUSE ENERGY RATING (HERS) REPORT AND SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE STAMPED PLANS ENDORSED BY THE ACCREDITED THERMAL PERFORMANCE ASSESSOR WITHOUT ALTERATION.

- STEP SIZES (OTHER THAN FOR SPIRAL STAIRS) TO BE:
- RISERS (R) 190MM MAXIMUM AND 115MM MINIMUM
 - GOING (G) 355MM MAXIMUM AND 240MM MINIMUM
 - 2R + 1G = 700MM MAXIMUM AND 550MM MINIMUM
 - WITH LESS THAN 125MM GAP BETWEEN OPEN TREADS.

ALL TREADS, LANDINGS AND THE LIKE TO HAVE A SLIP-RESISTANCE CLASSIFICATION OF P3 OR R10 FOR DRY SURFACE CONDITIONS AND P4 OR R11 FOR WET SURFACE CONDITIONS, OR A NOSING STRIP WITH A SLIP-RESISTANCE CLASSIFICATION OF P3 FOR DRY SURFACE CONDITIONS AND P4 FOR WET SURFACE CONDITIONS.

- PROVIDE BARRIERS WHERE CHANGE IN LEVEL EXCEEDS 1000MM ABOVE THE SURFACE BENEATH LANDINGS, RAMPS AND/OR TREADS. BARRIERS (OTHER THAN TENSIONED WIRE BARRIERS) TO BE:
- 1000MM MIN. ABOVE FINISHED SURFACE LEVEL OF BALCONIES, LANDINGS OR THE LIKE, AND
 - 865MM MIN. ABOVE FINISHED SURFACE LEVEL OF STAIR NOSING OR RAMP, AND
 - VERTICAL WITH LESS THAN 125MM GAP BETWEEN, AND
 - ANY HORIZONTAL ELEMENT WITHIN THE BARRIER BETWEEN 150MM AND 760MM ABOVE THE FLOOR MUST NOT FACILITATE CLIMBING WHERE CHANGES IN LEVEL EXCEEDS 4000MM ABOVE THE SURFACE BENEATH LANDINGS, RAMPS AND/OR TREADS.

WIRE BARRIER CONSTRUCTION TO COMPLY WITH NCC 2019 BCA PART 3.9.2 TABLE 3.9.2.1 OR TABLE 3.9.2.1		
	U1-2	U3 (FROM GROUND FLOOR TO FIRST FLOOR)
RISE : -	176.47mm	187.5mm
RUN : -	250mm	250mm
2R+G: -	602.94mm	625mm

TOP OF HAND RAILS TO BE MINIMUM 865MM VERTICALLY ABOVE STAIR NOSING AND FLOOR SURFACE OF RAMPS.

WINDOW SIZES NOMINATED ARE NOMINAL ONLY. ACTUAL SIZE MAY VARY ACCORDING TO MANUFACTURER. WINDOWS TO BE FLASHED ALL AROUND.

ALL STORMWATER TO BE TAKEN TO THE LEGAL POINT OF DISCHARGE TO THE RELEVANT AUTHORITIES APPROVAL.

THESE DRAWINGS SHALL BE READ IN CONJUNCTION WITH ALL RELEVANT STRUCTURAL AND ALL OTHER CONSULTANTS' DRAWINGS/DETAILS AND WITH ANY OTHER WRITTEN INSTRUCTIONS ISSUED IN THE COURSE OF THE CONTRACT.

SITE PLAN MEASUREMENTS IN METRES – ALL OTHER MEASUREMENTS IN MILLIMETRES UNLESS NOTED OTHERWISE.

FIGURED DIMENSIONS TAKE PRECEDENCE OVER SCALED DIMENSIONS.

THE BUILDER SHALL TAKE ALL STEPS NECESSARY TO ENSURE THE STABILITY AND GENERAL WATER TIGHTNESS OF ALL NEW AND/OR EXISTING STRUCTURES DURING ALL WORKS.

THE BUILDER AND SUBCONTRACTORS SHALL CHECK AND VERIFY ALL DIMENSIONS, SETBACKS, LEVELS AND SPECIFICATIONS AND ALL OTHER RELEVANT DOCUMENTATION PRIOR TO THE COMMENCEMENT OF ANY WORKS. REPORT ALL DISCREPANCIES TO THIS OFFICE FOR CLARIFICATION.

INSTALLATION OF ALL SERVICES SHALL COMPLY WITH THE RESPECTIVE SUPPLY AUTHORITY REQUIREMENTS.

THE BUILDER AND SUBCONTRACTOR SHALL ENSURE THAT ALL STORMWATER DRAINS, SEWER PIPES AND THE LIKE ARE LOCATED AT A SUFFICIENT DISTANCE FROM ANY BUILDINGS FOOTING AND/ OR SLAB EDGE BEAMS SO AS TO PREVENT GENERAL MOISTURE PENETRATION, DAMPNESS, WEAKENING AND UNDERMINING OF ANY BUILDING AND ITS FOOTING SYSTEM.

THESE PLANS HAVE BEEN PREPARED FOR THE EXCLUSIVE USE BY THE CLIENT OF IKONOMIDIS REID ('THE DESIGNER') FOR THE PURPOSE EXPRESSLY NOTIFIED TO THE DESIGNER. ANY OTHER PERSON WHO USES OR RELIES ON THESE PLANS WITHOUT THE DESIGNER'S WRITTEN CONSENT DOES SO AT THEIR OWN RISK AND NO RESPONSIBILITY IS ACCEPTED BY THE DESIGNER FOR SUCH USE AND/OR RELIANCE.

A BUILDING PERMIT IS REQUIRED PRIOR TO THE COMMENCEMENT OF THESE WORKS. THE RELEASE OF THESE DOCUMENTS IS CONDITIONAL TO THE OWNER OBTAINING THE REQUIRED BUILDING PERMIT.

THE CLIENT AND/OR THE CLIENT'S BUILDER SHALL NOT MODIFY OR AMEND THE PLANS WITHOUT THE KNOWLEDGE AND CONSENT OF IKONOMIDIS REID EXCEPT WHERE A REGISTERED BUILDING SURVEYOR MAKES MINOR NECESSARY CHANGES TO FACILITATE THE BUILDING PERMIT APPLICATION AND THAT SUCH CHANGES ARE PROMPTLY REPORTED BACK TO IKONOMIDIS REID.

THE APPROVAL BY THIS OFFICE OF A SUBSTITUTE MATERIAL, WORK PRACTICE, VARIATION OR THE LIKE IS NOT AN AUTHORISATION FOR ITS USE OR A CONTRACT VARIATION. ALL VARIATIONS MUST BE ACCEPTED BY ALL PARTIES TO THE AGREEMENT AND WHERE APPLICABLE THE RELEVANT BUILDING SURVEYOR PRIOR TO IMPLEMENTING ANY VARIATION.

STORMWATER
150 MM DIA. CLASS 6 UPVC STORMWATER LINE LAID TO A MINIMUM GRADE OF 1:100 AND CONNECTED TO THE LEGAL POINT OF STORMWATER DISCHARGE. PROVIDE INSPECTION OPENINGS AT 9000MM C/C AND AT EACH CHANGE OF DIRECTION.

- THE COVER TO UNDERGROUND STORMWATER DRAINS SHALL BE NOT LESS THAN
- 100MM UNDER SOIL
 - 50MM UNDER PAVED OR CONCRETE AREAS
 - 100MM UNDER UNREINFORCED CONCRETE OR PAVED DRIVEWAYS
 - 75MM UNDER REINFORCED CONCRETE DRIVEWAYS

WALL TYPES

- 90mm MGP10 TIMBER FRAME WALL AS PER SPEC
- 240mm BRICK VENEER WALL AS PER SPEC
- 230mm BRICK WALL WITH ENGAGED PIERS ON ONE SIDE AS PER SPEC & AS 4773.1
- WALL CONSISTING OF:
90mm STUD WITH 'MASTERWALL' 75mm THICK EXTERNAL CLADDING SYSTEM WITH RENDER FINISH OVER - BUILDER TO PROVIDE APPROVED SYSTEM APPLICATION DETAILS TO RELEVANT BUILDING SURVEYOR FOR APPROVAL PRIOR TO INSTALLATION.

- 250mm PARTY WALL - **BORAL PWT 60.1B SYSTEM**
- 1x 13mm SOUNDSTOP WALL LINING
- 90mm MGP10 TIMBER FRAME WALL AS PER SPEC
- CAVITY INSULATION R 2.0 GW WALL BATTS
- 20mmmm SEPARATION BETWEEN FRAME AND FIRE BARRIER
- 25mm SHAFT LINER PANEL BETWEEN 25mm H STUDS AT 600mm MAX CTRS
- 20mmmm SEPARATION BETWEEN FRAME AND FIRE BARRIER
- CAVITY INSULATION R 2.0 GW WALL BATTS
- 90mm MGP10 TIMBER FRAME WALL AS PER SPEC
- 1x 13mm SOUNDSTOP WALL LINING
(TO ACHIEVE FRL 60/60/60 & Rw + Ctr 55)

REFER TO MANUFACTURERS INFORMATION FOR DETAILS

- FW BORAL OUTRWALL 60 WALL SYSTEM (FRL 60/60/60) - FROM OUTSIDE ONLY
- CONSISTING OF:-
 - JAMES HARDIE 7.5mm THICK, 'HARDIETEX' EXTERNAL FC CLADDING (NON-COMBUSTIBLE) FIXED TO TIMBER BATTENS TO MANUFACTURES SPECIFICATIONS WITH RENDER FINISH OVER
 - VERTICAL OR HORIZONTAL BATTENS FIXED TO STUDS AT 600mm MAXIMUM CENTRES
 - 1X16mm WET AREA FIRESTOP AS PER SYSTEM TS3
 - TYVEK HOMEWRAP STAPLED TO PLASTERBOARD AS PER MANUFACTURES SPECIFICATIONS
 - 90mm MGP10 TIMBER FRAME WALL AS PER SPEC TO INTERNAL FACE OF WALL
- WALL CONSISTING OF:
90mm STUD WITH HARDIEWRAP WEATHER BARRIER
JAMES HARDIE 9mm THICK 'AXON' EXTERNAL CLADDING - BUILDER TO PROVIDE APPROVED SYSTEM APPLICATION DETAILS TO RELEVANT BUILDING SURVEYOR FOR APPROVAL PRIOR TO INSTALLATION.
- MIN. 6mm THICK CEMENT BOARD CLADDING WITH RENDER OF CHOICE OR 15mm THICK TIMBER CLADDING, 90mm TIMBER STUD WITH R2.5 ACOUSTIC FIBREOUS BATTS AND 10mm STANDARD PLASTERBOARD TO THE INTERNAL SIDE OF WALL. REFER TO ACOUSTIC REPORT FOR FURTHER INFO
- MIN. 6mm THICK CEMENT BOARD CLADDING WITH RENDER OF CHOICE OR 15mm THICK TIMBER CLADDING, 90mm TIMBER STUD WITH R2.5 ACOUSTIC FIBREOUS BATTS AND 13mm SOUND REDUCING PLASTERBOARD TO THE INTERNAL SIDE OF WALL. REFER TO ACOUSTIC REPORT FOR FURTHER INFO

LEGEND

- BIR BUILT IN ROBE
- WM WASHING MACHINE / DRYER OVER BY OTHERS
PROVIDE PLUMBING & POWER
PROVIDE WASTE OUTLET NEAR WASHING MACHINE
- TR LAUNDRY TROUGH
- DW DISHWASHER BY OTHERS PROVIDE PLUMBING & POWER
- HP HOT PLATE WITH RANGEHOOD OVER
& UNDERBENCH OVEN DUCT RANGE HOOD
EXHAUST DIRECTLY TO EXTERNAL AIR
- S STAINLESS STEEL SINK
- REF REFRIGERATOR BY OTHERS
- PT PANTRY
- SH 900mm x 900mm SHOWER BASE TO BUILDER'S SELECTION
NOT TO BE CUT INTO LOAD BEARING WALLS
- SH1 900mm x 1500mm SHOWER BASE TO BUILDER'S SELECTION
NOT TO BE CUT INTO LOAD BEARING WALLS
- SH2 900mm x 1650mm SHOWER BASE TO BUILDER'S SELECTION
NOT TO BE CUT INTO LOAD BEARING WALLS
- SH3 900mm x 1710mm SHOWER BASE TO BUILDER'S SELECTION
NOT TO BE CUT INTO LOAD BEARING WALLS
- V VANITY UNIT TO OWNER'S SELECTION
- V1 WALL VANITY UNIT TO OWNER'S SELECTION
- WC TOILET SUITE TO OWNER'S SELECTION
- DP DOWN PIPE AS PER SPEC
- BG BOX GUTTER AS PER SPEC
- RWH RAIN WATER HEAD AS PER SPEC
- SPD SPREADER AS PER SPEC
- SUMP SUMP AS PER SPEC
- OH OVERHEAD CUPBOARD
- LOH LIFT OFF HINGES
- HWS HOT WATER SERVICE TO BUILDERS SELECTION ENSURE GAS HOT WATER SERVICES ARE 500mm AWAY FROM AN OPENABLE WINDOW SASH OR DOOR
- Ⓢ DENOTES LOCATION OF SMOKE ALARMS TO BE PROVIDED AND INSTALLED IN ACCORDANCE WITH AS 3786-1993. THE SMOKE ALARM SHALL BE HARD WITH A BATTERY BACKUP - ENSURE ALL SMOKE DETECTORS TO BE INTERCONNECTED
- Ⓢ CEILING MOUNTED EXHAUST FAN 250mm DIA. 140I/S MIN. DISCHARGING INTO VENTILATED ROOF SPACE WITH A MIN. 1m HORIZONTAL LENGTH DUCT OR DIRECT TO OUTSIDE AIR IN ACCORD. WITH AS 1668- FITTED WITH SELF CLOSERS

MULTI UNIT DEVELOPMENT
154 BROADWAY
RESERVOIR

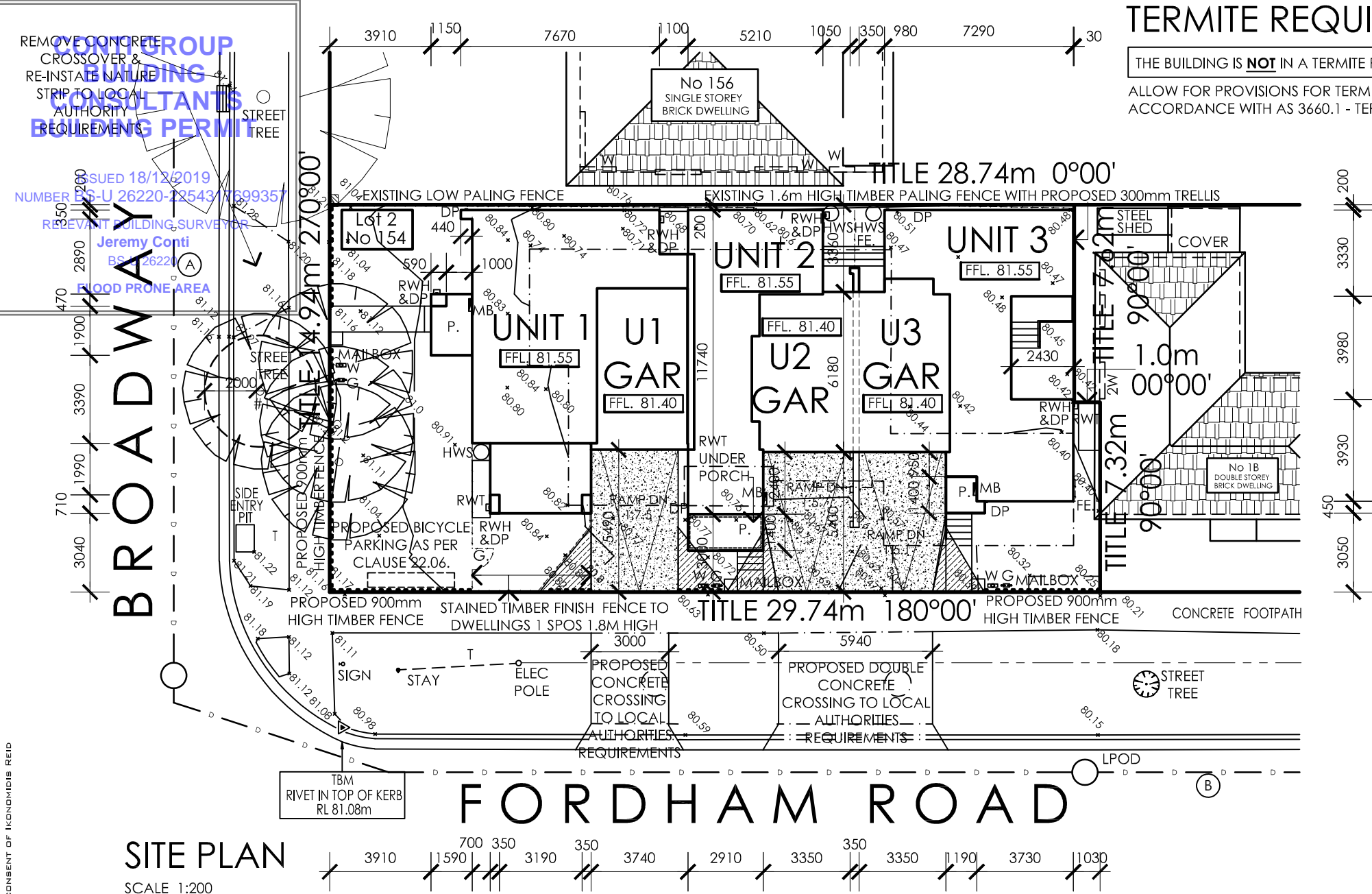
WD-01	C	JOB NO. 009984	SCALE. VL	DRAWN. DATE. SEP 18
-------	---	-------------------	--------------	---------------------------

GENERAL NOTES

THIS PLAN OR DESIGN MAY NOT BE COPIED, LOANED OF BORROWED WITHOUT THE WRITTEN CONSENT OF IKONOMIDIS REID

C	OCT 19	BUILDING SURVEYOR CHECKLIST	A	JAN 19	BUILDING PERMIT ISSUE	P2	SEP 18	NOT FOR CONSTRUCTION	P1	JAN18	NOT FOR CONSTRUCTION
B	OCT 19	BUILDING SURVEYOR CHECKLIST									
REV	DATE	ISSUE	REV	DATE	ISSUE	REV	DATE	ISSUE	REV	DATE	ISSUE

THIS PLAN OR DESIGN MAY NOT BE COPIED, LOANED OF BORROWED WITHOUT THE WRITTEN CONSENT OF IKONOMIDIS REID



SITE PREPARATION NOTES :

ALL VEGET. & CONC. PAVING TO BE REMOVED FROM AREA OF CONSTRUCTION. ANY FILLING UNDER PAVING SLABS TO BE FCR., GRADE 2A MATERIAL OF 50mm (MAX SIZE COMPACTED IN 200mm THICK (MAX) LAYERS TO GIVE 100% STANDARD COMPACTION. GRADE UNIFORMLY BETWEEN GIVEN LEVELS

SITE PLAN NOTES

ALL FRC, RCP, EW & SEWER QUALITY PVC PIPES UNDER TRAFFICABLE PAVING TO HHAVE 450mm MIN. COVER. STORMWATER QUALITY PVC PIPES TO HAVE 600mm MIN. COVER. ALL PIPES IN GARDEN AREAS TO HAVE 300mm COVER

DEMOLITION NOTES

EXISTING CONCRETE DRIVEWAY AND HOUSE TO BE REMOVED - SHOWN DOTTED. ASBESTOS AUDIT TO BE CARRIED OUT BY BUILDER PRIOR TO ANY DEMOLITION. ANY ASBESTOS SHALL BE REMOVED AS PER THE REQUIREMENTS OF THE OCCUPATIONAL HEALTH AND SAFETY CODE OF PRACTICE.

LAND SURVEY

REFER TO RE-ESTABLISHMENT SURVEY BY: JRL
REF No: 16-257 D1 DATE: 01.11.2016

FENCING

ALL INTERNAL FENCING BETWEEN UNITS TO BE 1.8M HIGH PALING FENCE & GATES WHERE NOTED

PLANNING PERMIT

REFER TO PLANNING PERMIT D/49/2017 ISSUED BY DAREBIN CITY COUNCIL ON THE 8 JANUARY 2018 FOR ALL CONDITIONS.

SERVICES

BUILDER TO ALLOW FOR CONNECTION OF ALL REQUIRED SERVICES
- WATER SUPPLY - SEWERAGE
- GAS - DRAINAGE
- ELECTRICITY

ALL PLUMBING & EXTERNAL SERVICES ON EXTERNAL WALL (EXCEPT DOWN PIPES) SHALL BE CONCEALED WITHIN THE WALLS

STORMWATER

- ROOFING AS PER SPEC. FIX ROOFING IN ACCORDANCE WITH MANU. SPEC. AND INSULATION AS PER SPEC.
- PROVIDE ALL COLORBOND FLASHINGS AS REQUIRED TO PROVIDE A WATERTIGHT INSTALLATION.
- CONNECT ALL NEW DOWNPIPES TO LEGAL POINT OF DISCHARGE AS PER ENGINEERS DRAWINGS
- EAVES GUTTERS AS PER SPEC. MIN 1:200 FALL TOWARDS DOWNPIPES
- BOX GUTTER AS PER SPEC. MIN 1:200 FALL TOWARDS OUTLET
- ALL DOWNPIPES AS PER SPEC
- ALL MECHANICAL AND OTHER SERVICE PENETRATIONS THROUGH ROOF SHALL BE FULLY FLASHED AND MADE WATERTIGHT

LANDSCAPING

REFER TO SEPARATE LANDSCAPE PLAN BY: KEYSTONE ALLIANCE PTY LTD
JOB NO: L6030 REV E DATE: 18.09.2018

LEGAL POINT OF DISCHARGE

REFER TO COUNCIL INFO & APPROVED CIVIL PLAN

TERMITE REQUIREMENTS

THE BUILDING IS **NOT** IN A TERMITE PRONE AREA

ALLOW FOR PROVISIONS FOR TERMITE PROTECTION IN ACCORDANCE WITH AS 3660.1 - TERMITE MANAGEMENT

LEGEND

225MM Ø UNDERGROUND STORMWATER DRAIN PIPE. DEPTH AND OFFSET UNKNOWN. CONFIRM POSITION ON SITE PRIOR TO CONSTRUCTION

1650MM Ø UNDERGROUND STORMWATER DRAIN PIPE. DEPTH AND OFFSET UNKNOWN. CONFIRM POSITION ON SITE PRIOR TO CONSTRUCTION

EXISTING OVERHEAD WIRES

- W HABITABLE ROOM WINDOWS
- NW NON-HABITABLE ROOM WINDOWS
- 2W SECOND STOREY HABITABLE ROOM WINDOWS
- T TEL PIT
- EXISTING SPOT LEVELS

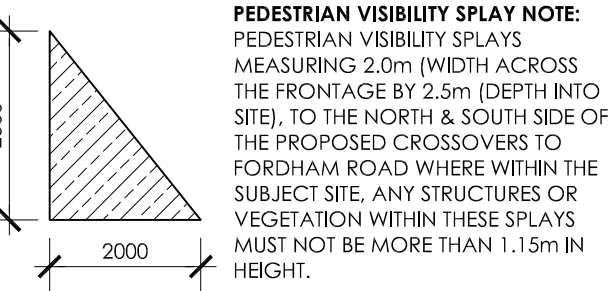
TPZ - TREE PROTECTION ZONE, REFER TO PLANNING CONDITION 8 OF PLANNING PERMIT.

EXISTING TREES

- PROPOSED ELECTRICAL METER BOX
- PROPOSED WATER METER
- PROPOSED GAS METER

SELECTED 2000 LITRE RAINWATER TANK TO BE SERVED BY A ROOF AREA OF NO LESS THAN 175M2 CATCHMENT AREA & CONNECTED TO SANITARY FLUSHING SYSTEMS. REFER TO SDA REPORT FOR FURTHER INFO.

SELECTED CONCRETE DRIVEWAY



ENSURE ALL FINISHED GROUND SURFACES SLOPE AWAY FROM BUILDINGS

REFER TO ENG'S DETAILS & SOIL REPORT FOR REQUIREMENTS IN FOOTINGS & BUILDING OVER REMOVED OR RETAINED TREES FOR THIS SITE OR ADJACENT

ENSURE NO PART OF ANY BUILDING IS TO ENCROACH THE TITLE BOUNDARY

PORCH / ALFRESCO MIN. 85MM & MAX 170mm BELOW FFL

REFER TO LANDSCAPE DESIGN IN CONJUNCTION WITH ENGINEERS DRAWINGS FOR ALL DETAILS RELATING TO PAVING MATERIAL, TYPE & FINISH

LOCALISED CUT/FILL LEVELS TO BE DETERMINED ON SITE TO SUIT CONCRETE SLAB TO ENG'S DETAILS AND FINISHED FLOOR LEVELS

ENSURE DEEP EDGE REBATE SO AS TO NOT EXPOSE SLAB EDGE - REFER TO ENG'S DETAIL

PLANS TO BE READ IN-CONJUNCTION WITH ACOUSTICS REPORT PREPARED BY AUDIOMETRIC & ACOUSTIC SERVICES DATED 18 SEP 2018

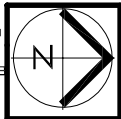
THE DEVELOPER IS RESPONSIBLE FOR THE REMOVAL OF THE STREET TREE WITH ALL WORKS TO BE UNDERTAKEN BY A SUITABLE QUALIFIED PROFESSIONAL.

MULTI UNIT DEVELOPMENT
154 BROADWAY
RESERVOIR

WD-02 C

JOB NO. 009984 SCALE. 1:200 DRAWN. DATE. SEP 18

SITE PLAN



- A/C SERVICES, DUCTING & FIXTURE LOCATIONS TO BE DETERMINED ON SITE
- EXHAUST RANGEHOOD EXTERNALLY - CONFIRM ON SITE
- FLOOR WASTES TO PDR AND L'DRY TO BE CONFIRMED ON SITE

- PORCH AND VERANDAH SLABS TO HAVE A MINIMUM FALL AWAY FROM BUILDING TO PREVENT PONDING AGAINST BUILDING
- PROVIDE HEAD FLASHINGS/WEEPHOLES ABOVE OPENINGS IN BRICK VENEER WALLS WITH CLIPPED EAVES AND PARAPETS

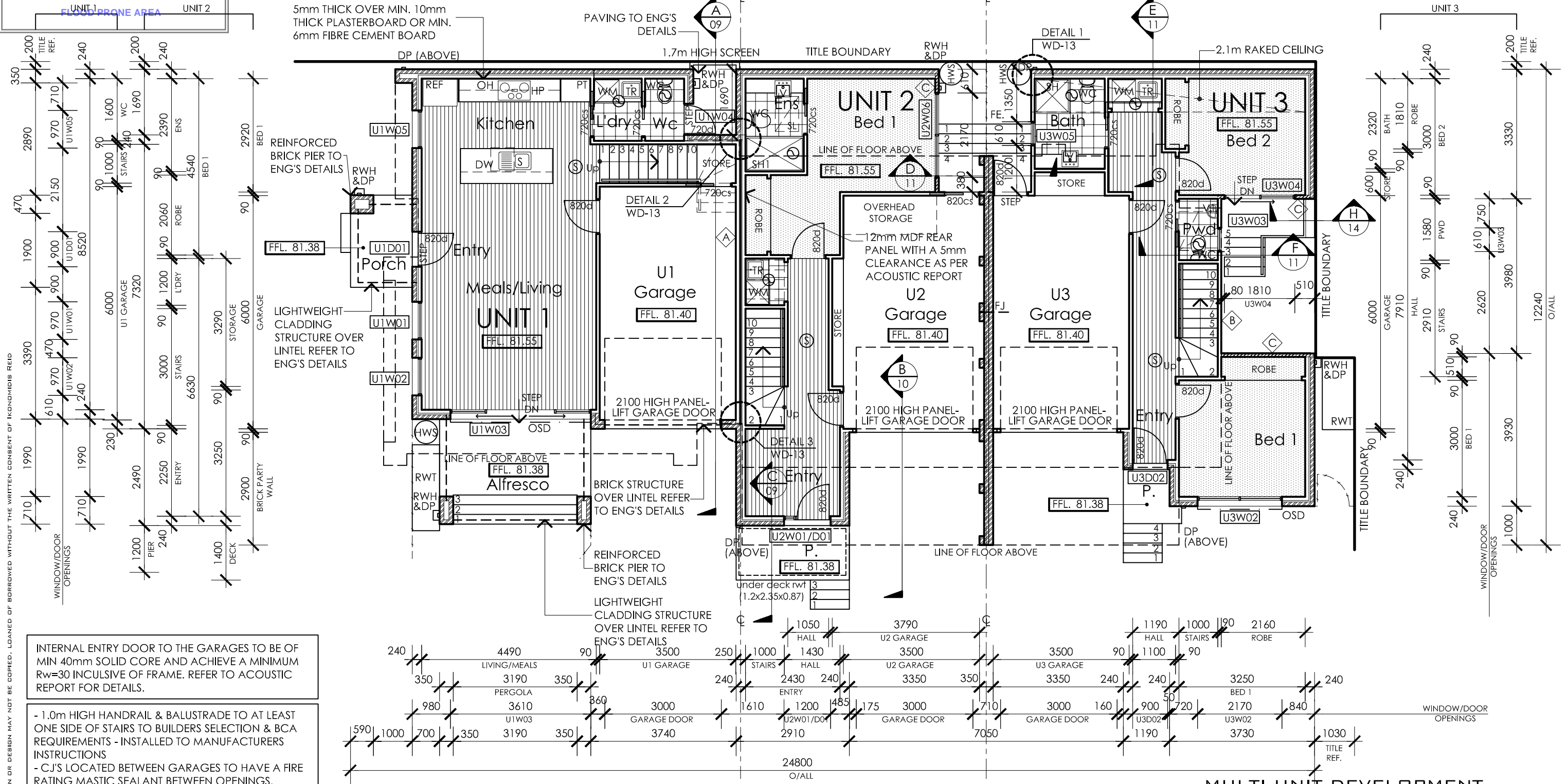
Jeremy Conti
BS-U 26220

STREET FRONT ENTRY DOORS WILL NEED TO BE A MIN 40MM SOLID CORE WITH ACOUSTIC RATED PERIMETER AND DROP SEALS, SUCH AS FROM RAVEN RANGE OR EQUIVALENT. REFER TO ACOUSTIC REPORT FOR DETAILS.

EXTERNAL OPERABLE SHADING DEVICES (EXCLUDING ROLLER SHUTTERS) TO ALL EAST AND WEST FACING HABITABLE ROOM WINDOWS/GLAZED DOORS.

WEEPHOLES TO BE LOCATED MINIMUM 75mm ABOVE PAVED AND CONCRETED AREAS AND 150mm ABOVE NGL.

REFER TO STRUCTURAL ENGINEERING DRAWINGS FOR LOCATION OF ALL ARTICULATION/CONTROL JOINTS



INTERNAL ENTRY DOOR TO THE GARAGES TO BE OF MIN 40mm SOLID CORE AND ACHIEVE A MINIMUM $R_w=30$ INCLUSIVE OF FRAME. REFER TO ACOUSTIC REPORT FOR DETAILS.

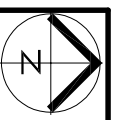
- 1.0m HIGH HANDRAIL & BALUSTRADE TO AT LEAST ONE SIDE OF STAIRS TO BUILDERS SELECTION & BCA REQUIREMENTS - INSTALLED TO MANUFACTURERS INSTRUCTIONS
- C/J'S LOCATED BETWEEN GARAGES TO HAVE A FIRE RATING MASTIC SEALANT BETWEEN OPENINGS.

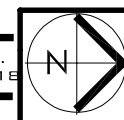
MULTI UNIT DEVELOPMENT
154 BROADWAY
RESERVOIR

WD-03 C

JOB NO. 009984 SCALE. 1:100 DRAWN. DATE. SEP 18

GROUND FLOOR
PLAN



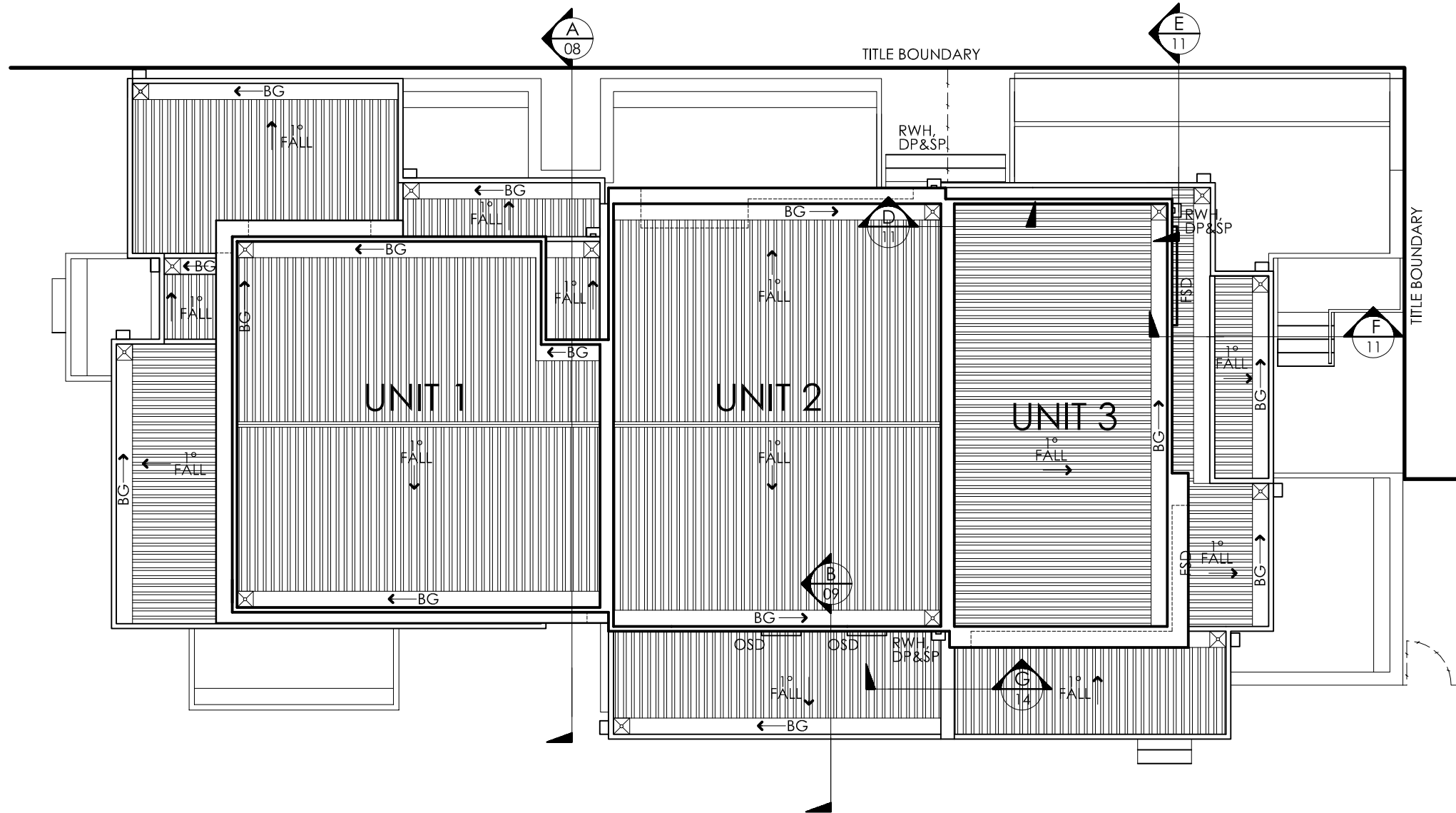


CONTI GROUP
BUILDING
CONSULTANTS
BUILDING PERMIT

ISSUED 18/12/2019
NUMBER BS-U 26220-2254317699357

RELEVANT BUILDING SURVEYOR
Jeremy Conti
BS-U 26220

FLOOD PRONE AREA



NOTES

ROOFING AS PER SPEC.

FIX ROOFING IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS OVER SISALATION AND INSULATION AS PER SPEC.

PROVIDE ALL FLASHINGS AS REQUIRED TO PROVIDE A WEATHERTIGHT INSTALLATION. ALL FLASHING AS PER SPEC.

CONNECT ALL NEW DOWNPIPES TO LEGAL POINT OF DISCHARGE

EAVES GUTTER - COLORBOND QUAD GUTTER MINIMUM 1:100 FALL TOWARDS DOWNPIPES

ALL RAINWATER HEADS TO BE

MIN 300W X 200D X 250H COLORBOND RAINWATER HEAD OR SIMILAR TO BUILDER'S SELECTION WITH MIN 100 X 50 OVERFLOW POP

ALL DOWNPIPES 90Ø UNLESS OTHERWISE NOTED

PROVIDE COLORBOND CAPPING OVER ALL PARAPETS

ALL MECHANICAL AND OTHER SERVICE PENETRATIONS THROUGH ROOF SHEETING SHALL BE FULLY FLASHED AND MADE WATERTIGHT

LEGEND

RWH & DP RAIN WATER HEAD & DOWN PIPE AS PER SPEC.

DP DOWNPIPE AS PER SPEC.

SP DOWN PIPE & SPREADER AS PER SPEC.

BG BOX GUTTER AS PER SPEC.

⊠ SUMP

→ FALL DIRECTION

▨ KLIPLOK METAL SHEET ROOFING @ 1° PITCH AS PER SPEC.

ALL ROOF PENETRATIONS TO BE SUITABLY FLASHED AND SEALED TO ENSURE WATERTIGHT FINISH

PROVIDE ADEQUATE OVERFLOW PROVISION TO ALL BOX GUTTERS AT ENDS THROUGH PARAPETS ETC.

MULTI UNIT DEVELOPMENT
154 BROADWAY
RESERVOIR

WD-06 C

JOB NO. SCALE. DRAWN. DATE.
009984 1:100 VL SEP18

ROOF PLAN

THIS PLAN OR DESIGN MAY NOT BE COPIED, LOANED OF BORROWED WITHOUT THE WRITTEN CONSENT OF IKONOMIDIS REID

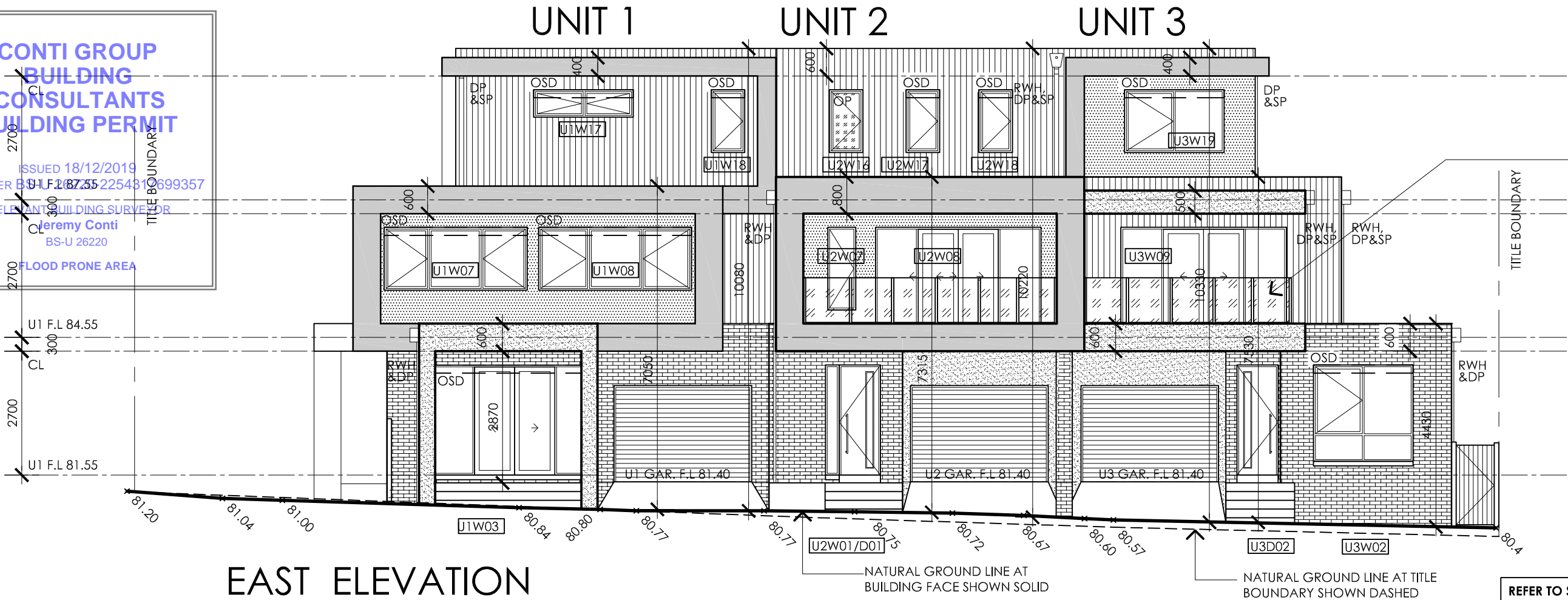
CONTI GROUP
BUILDING
CONSULTANTS
BUILDING PERMIT

ISSUED 18/12/2019
NUMBER BULF 18755 225431699357
RELEVANT BUILDING SURVEYOR
Jeremy Conti
BS-U 26220

FLOOD PRONE AREA



OPENINGS IN BALUSTRADES TO BALCONY'S AND STAIRCASES WHERE THERE IS A FALL HEIGHT GREATER THAN 1M SHALL BE CONSTRUCTED SO THEY DO NOT PERMIT A 125MM SPHERE TO PASS THROUGH IT.



EAST ELEVATION

REFER TO STRUCTURAL ENGINEERING DRAWINGS FOR LOCATION OF ALL ARTICULATION/CONTROL JOINTS

EXTERNAL FINISHES
LEGEND

REFER TO SEPARATE COLOUR SCHEDULE APPROVED BY COUNCIL FOR FURTHER INFO

- FACE BRICKWORK
AUSTRAL 'URBAN FRINGE'

RENDER FINISH #1
DULUX - 'VIVID WHITE'

RENDER FINISH #2
DULUX - 'TRYSTAN'

RENDER FINISH #3
DULUX - 'YARNWOOL'

TIMBER PANELLING
- OSD

EXTERNAL OPERABLE SHADING DEVICES(EXCLUDING ROLLER SHUTTERS) TO ALL EAST AND WEST FACING HABITABLE ROOM WINDOWS/GLAZED DOORS.
- FSD

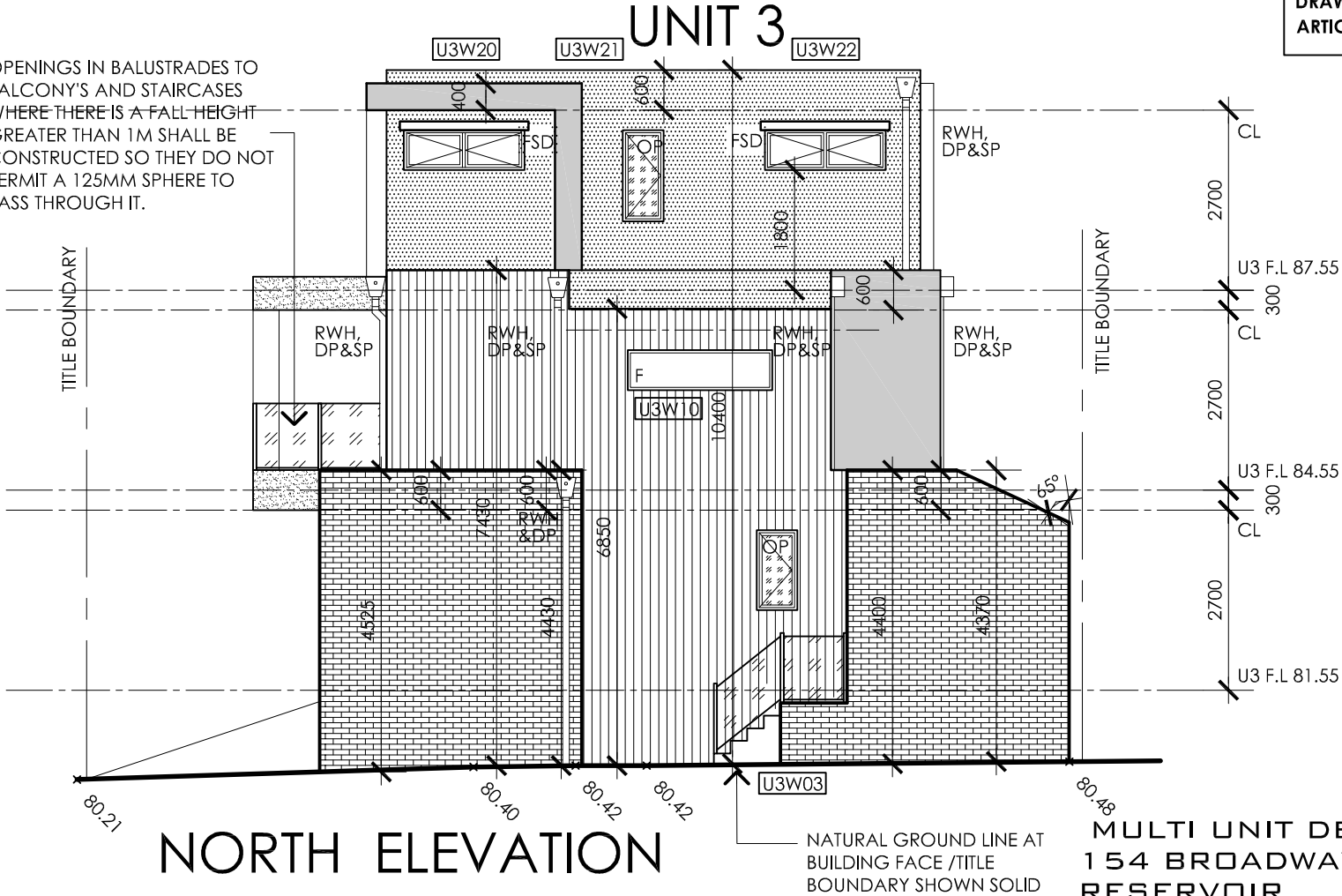
FIXED EXTERNAL, HORIZONTAL SUN SHADING DEVICES TO ALL NORTH FACING HABITABLE ROOM WINDOWS/GLAZED DOORS. SHADING MUST NOT EXTEND WITHIN 1 METER OF A PROPERTY BOUNDARY.
- OB

FIXED OBSCURED GLAZING TO 1700H ABOVE FFL 25% TRANSPARENT- OPAQUE GLAZING WITH RESTRICTED AWNING 125mm
- OP

OPAQUE GLAZING
- F

FIXED WINDOW

OPENINGS IN BALUSTRADES TO BALCONY'S AND STAIRCASES WHERE THERE IS A FALL HEIGHT GREATER THAN 1M SHALL BE CONSTRUCTED SO THEY DO NOT PERMIT A 125MM SPHERE TO PASS THROUGH IT.



NORTH ELEVATION

MULTI UNIT DEVELOPMENT
154 BROADWAY
RESERVOIR

THIS PLAN OR DESIGN MAY NOT BE COPIED, LOANED OF BORROWED WITHOUT THE WRITTEN CONSENT OF IKONOMIDIS REID



CONTI GROUP BUILDING CONSULTANTS BUILDING PERMIT

ISSUED 12/12/2019
NUMBER BS-U 26220-2254317699357

RELEVANT BUILDING FILE NO. 87.55

Jersey Conti

BS-U 26220

FLOOD PRONE AREA

TITLE BOUNDARY

PITCHING HEIGHT

WEST ELEVATION

UNIT 1

EXTERNAL FINISHES LEGEND

REFER TO SEPARATE COLOUR SCHEDULE APPROVED BY COUNCIL FOR FURTHER INFO

FACE BRICKWORK
AUSTRAL 'URBAN FRINGE'

RENDER FINISH #1
DULUX - 'VIVID WHITE'

RENDER FINISH #2
DULUX - 'TRYSTAN'

RENDER FINISH #3
DULUX - 'YARNWOOL'

TIMBER PANELLING

EXTERNAL OPERABLE SHADING
DEVICES (EXCLUDING ROLLER
SHUTTERS) TO ALL EAST AND
WEST FACING HABITABLE ROOM
WINDOWS/GLAZED DOORS.

FIXED EXTERNAL, HORIZONTAL
SUN SHADING DEVICES TO ALL
NORTH FACING HABITABLE
ROOM WINDOWS/GLAZED
DOORS. SHADING MUST NOT
EXTEND WITHIN 1 METER OF A
PROPERTY BOUNDARY.

FIXED OBSCURED GLAZING
TO 1700H ABOVE FFL
25% TRANSPARENT- OPAQUE
GLAZING WITH RESTRICTED
AWNING 125mm

OPAQUE GLAZING

FIXED WINDOW

SOUTH ELEVATION

FRONT FENCE - TYPICAL

REFER TO STRUCTURAL ENGINEERING
DRAWINGS FOR LOCATION OF ALL
ARTICULATION/CONTROL JOINTS

STAINED TIMBER FINISH
FENCE TO DWELLINGS 1 SPOS

MULTI UNIT DEVELOPMENT
154 BROADWAY
RESERVOIR

WD-08 C

JOB NO. SCALE. DRAWN. DATE.
009984 1:100 VL SEP 18

ELEVATIONS
2 OF 2

THIS PLAN OR DESIGN MAY NOT BE COPIED, LOANED OR BORROWED WITHOUT THE WRITTEN CONSENT OF IKONOMIDIS REID

CONTI GROUP
BUILDING
CONSULTANTS
BUILDING PERMIT

ISSUED 18/12/2019
NUMBER BS-U 26220-2254317699357
RELEVANT BUILDING SURVEYOR
Jeremy Conti
BS-U 26220
FLOOD PRONE AREA

GRADED BATTENS &
SARKING/NOISE INSULATING
BLANKET UNDER AS PER SPEC.
PARAPET LIGHTWEIGHT
CLADDING AS PER SPEC.

'LYSAGHT - KLIP-LOK' METAL
SHEET ROOFING OR SIMILAR
@ 1° MIN. PITCH AS PER SPEC
WITH SARKING UNDER

RAFTERS TO ENG'S DETAIL
SELECTED PARAPET CAPPING
AND FLASHING.

SELECTED 'MASTERWALL'
CLADDING SYSTEM WITH
RENDER FINISH

SELECTED ALUMINIUM FRAMED WINDOW
AS PER SPEC. WINDOW SCHEDULE
(PROVIDE HEAD & SILL FLASHING TO
ENSURE WATERTIGHT FINISH)

350 WIDE x 150 DEEP MIN.
BOX GUTTER OVER 20mm
MARINE PLY BASE LAID TO
MIN. 1:100 FALL TO
ADJACENT OUTLET

BEARERS & JOISTS TO
ENG'S DETAILS

CONCRETE PAD
FOOTINGS TO ENG'S
DETAIL &
ASSOCIATED
SOIL REPORT

PORCH
PROVIDE FLASHING
& WEEPHOLES @
MAX 1200mm CTRS

SELECTED DECKING

UNDERGROUND
RWT

ENTRY

U2 F.L 81.55

REINFORCED
CONCRETE SLAB
TO ENG'S DETAILS

SECTION C
SCALE 1:50

REFER TO STRUCTURAL ENGINEERING
DRAWINGS FOR LOCATION OF ALL
ARTICULATION/CONTROL JOINTS

TITLE BOUNDARY

1700 HIGH SCREEN

MINIMUM 1:50mm SLOPE
FOR SURFACE DRAINAGE
TO FALL AWAY FROM
BUILDING. TYPICAL.

SECTION A
SCALE 1:50

MULTI UNIT DEVELOPMENT
154 BROADWAY
RESERVOIR

WD-09 C

JOB NO. SCALE. DRAWN. DATE.
009984 1:50 VL SEP18

SECTION A,C

THIS PLAN OR DESIGN MAY NOT BE COPIED, LOANED OR BORROWED WITHOUT THE WRITTEN CONSENT OF IKONOMIDIS REID

CONTI GROUP
BUILDING
CONSULTANTS
BUILDING PERMIT

ISSUED 18/12/2019
NUMBER BS-U 26220-2254317699357

RELEVANT BUILDING SURVEYOR
Jeremy Conti
BS-U 26220

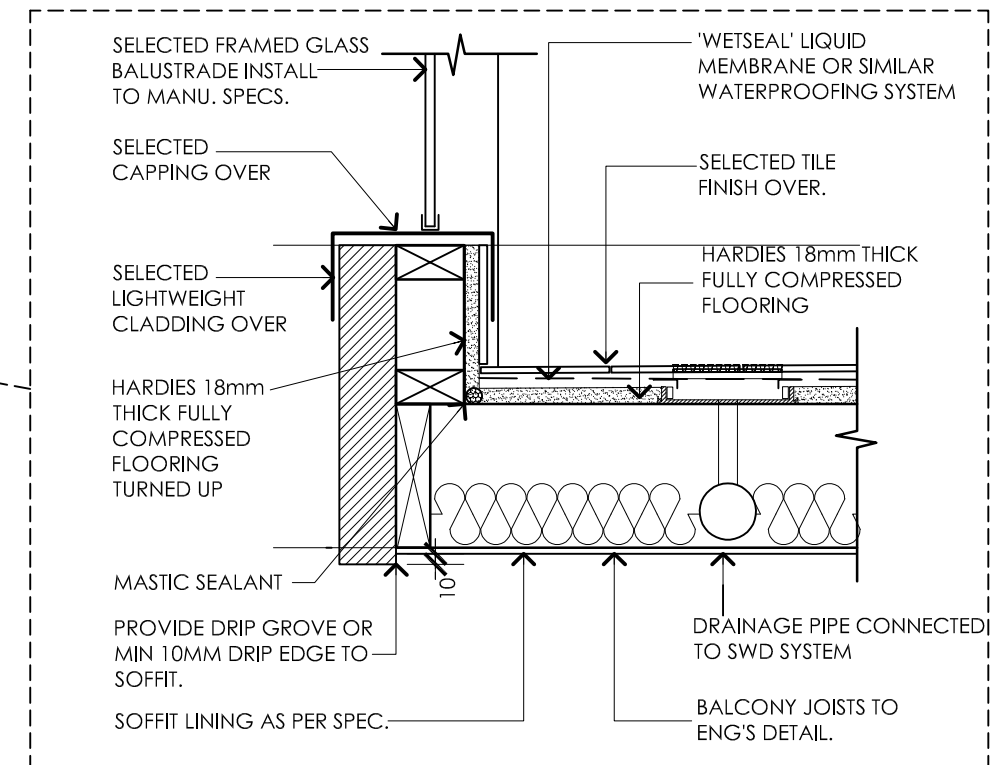
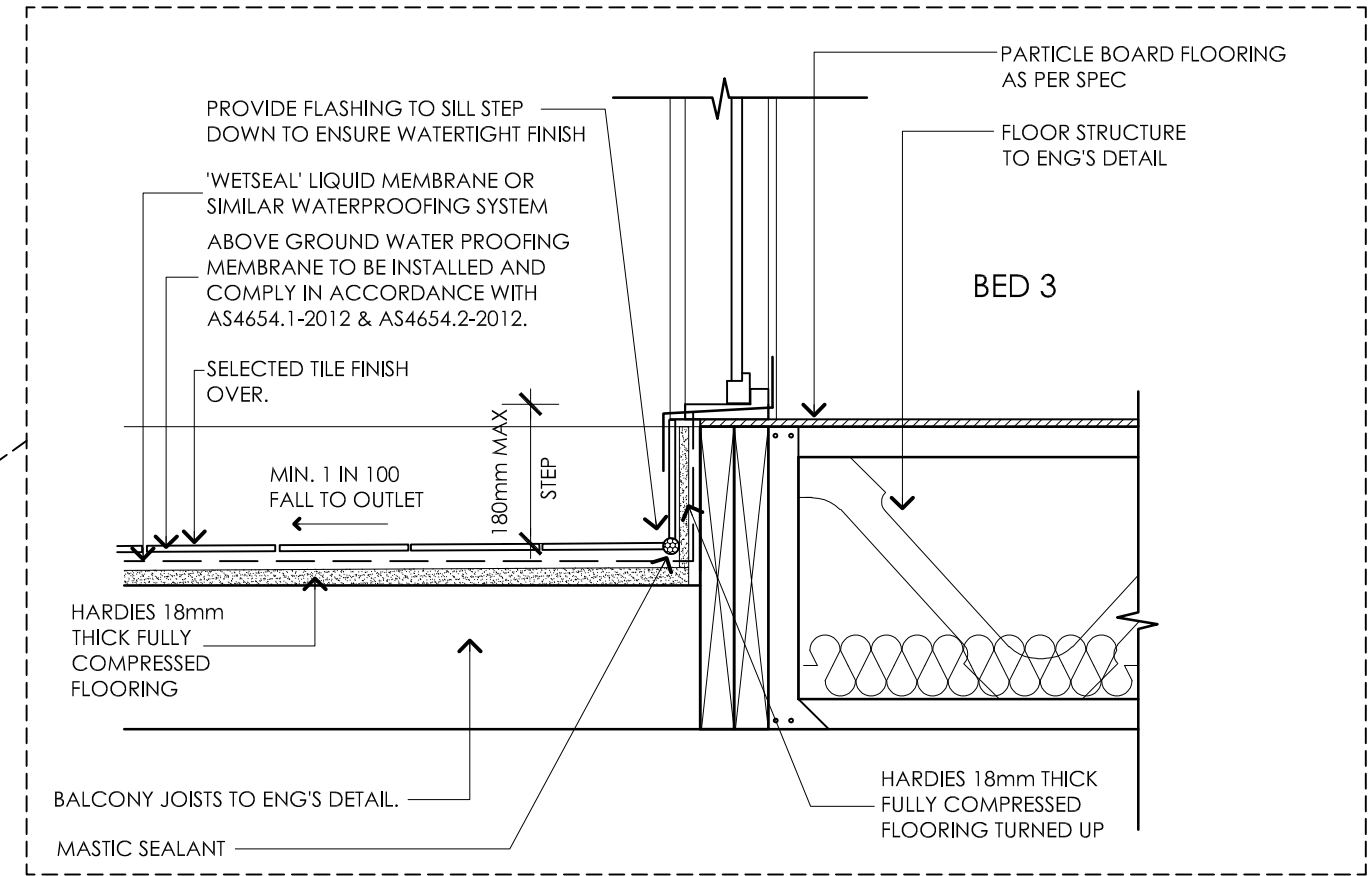
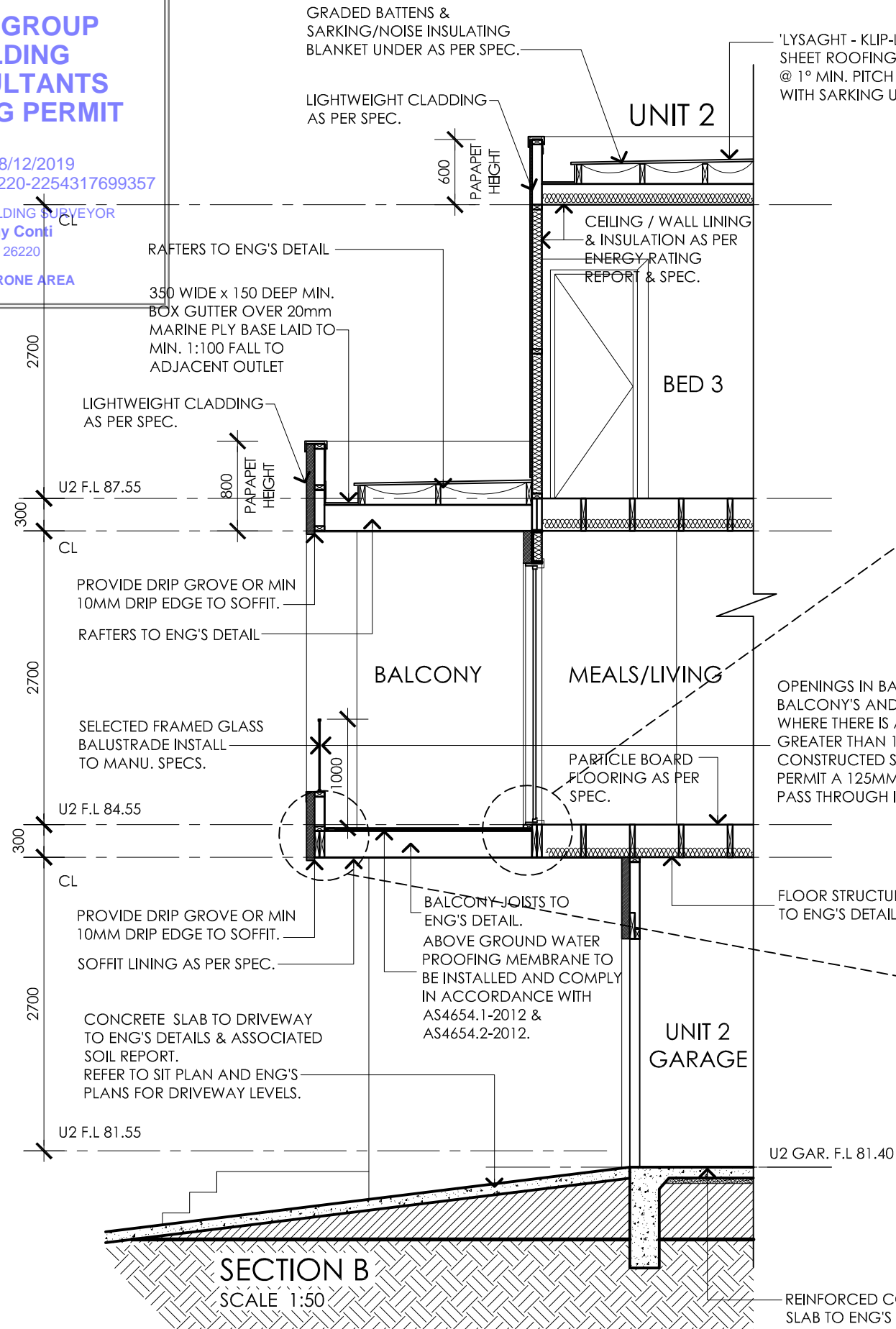
FLOOD PRONE AREA

GRADED BATTENS &
SARKING/NOISE INSULATING
BLANKET UNDER AS PER SPEC.

LIGHTWEIGHT CLADDING
AS PER SPEC.

'LYSAGHT - KLIP-LOK' METAL
SHEET ROOFING OR SIMILAR
@ 1° MIN. PITCH AS PER SPEC
WITH SARKING UNDER

REFER TO STRUCTURAL ENGINEERING
DRAWINGS FOR LOCATION OF ALL
ARTICULATION/CONTROL JOINTS



MULTI UNIT DEVELOPMENT
154 BROADWAY
RESERVOIR

WD-10 C

JOB NO. SCALE. DRAWN. DATE.
009984 AS NOTED VL SEP18

SECTION B / DETAILS

THIS PLAN OR DESIGN MAY NOT BE COPIED, LOANED OF BORROWED WITHOUT THE WRITTEN CONSENT OF IKONOMIDIS REID

CONTI GROUP BUILDING CONSULTANTS BUILDING PERMIT

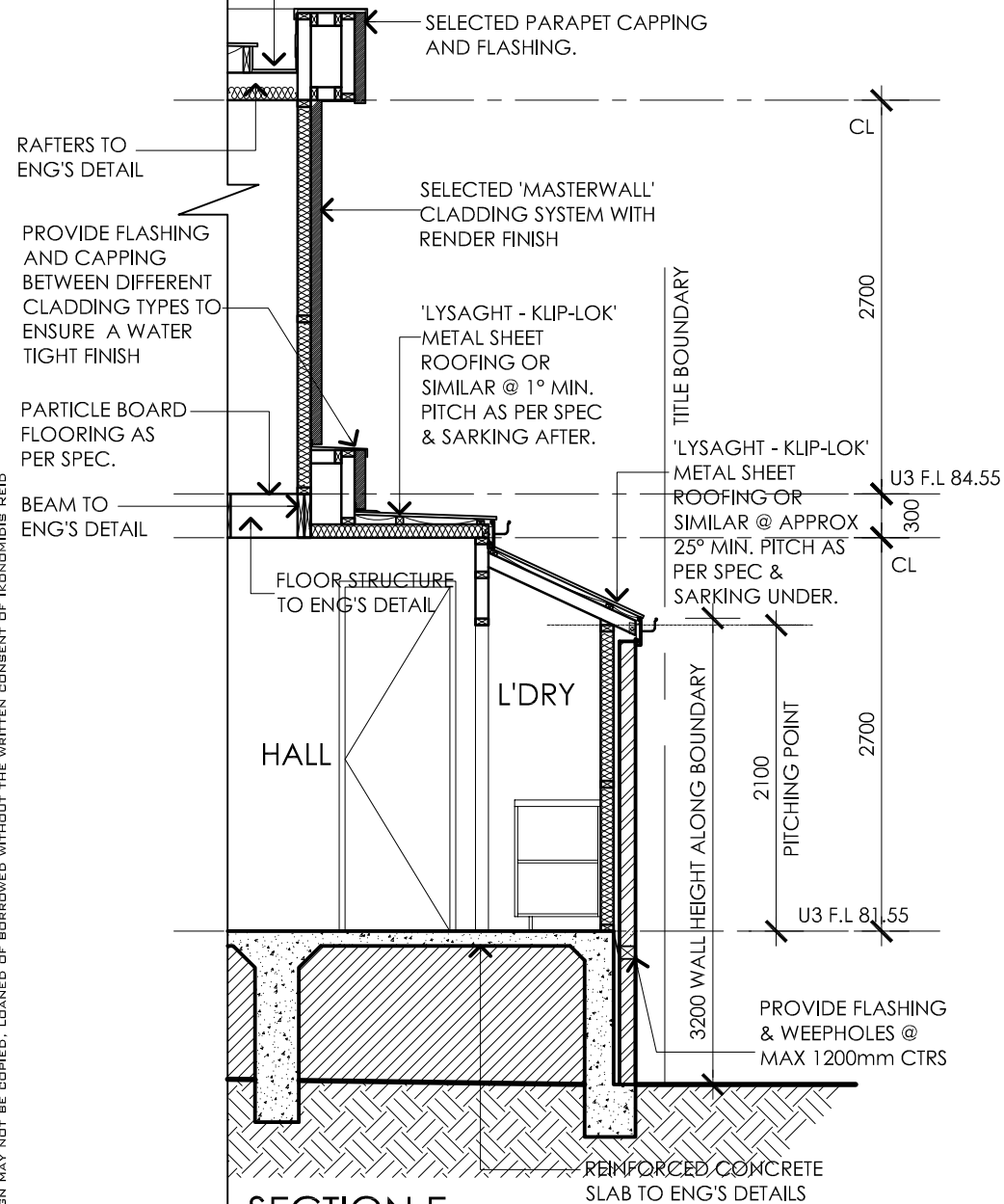
ISSUED 18/12/2019
NUMBER BS-U 26220-2254317699357

RELEVANT BUILDING SURVEYOR
Jeremy Conti
BS-U 26220

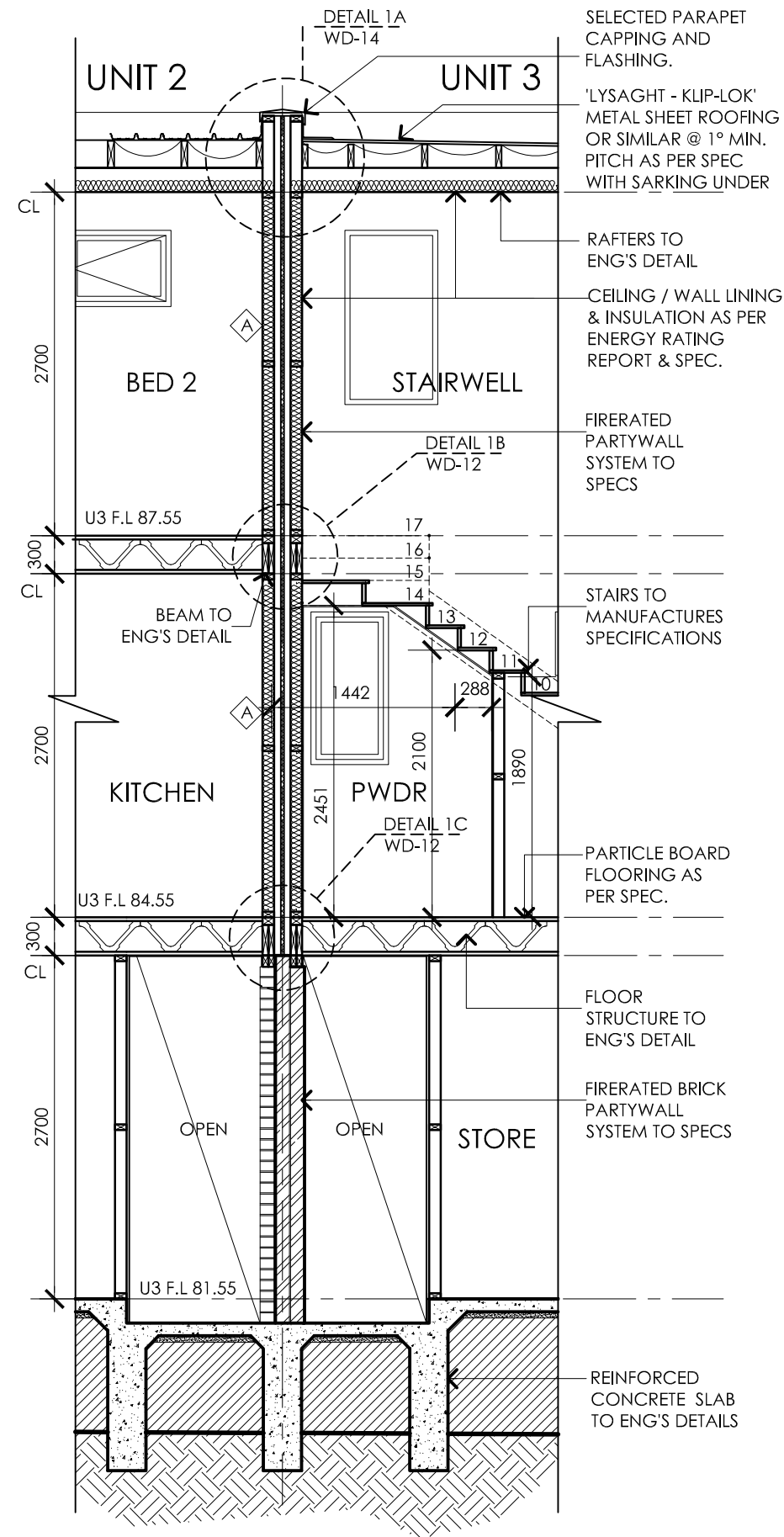
FLOOD PRONE AREA

REFER TO STRUCTURAL ENGINEERING
DRAWINGS FOR LOCATION OF ALL
ARTICULATION/CONTROL JOINTS

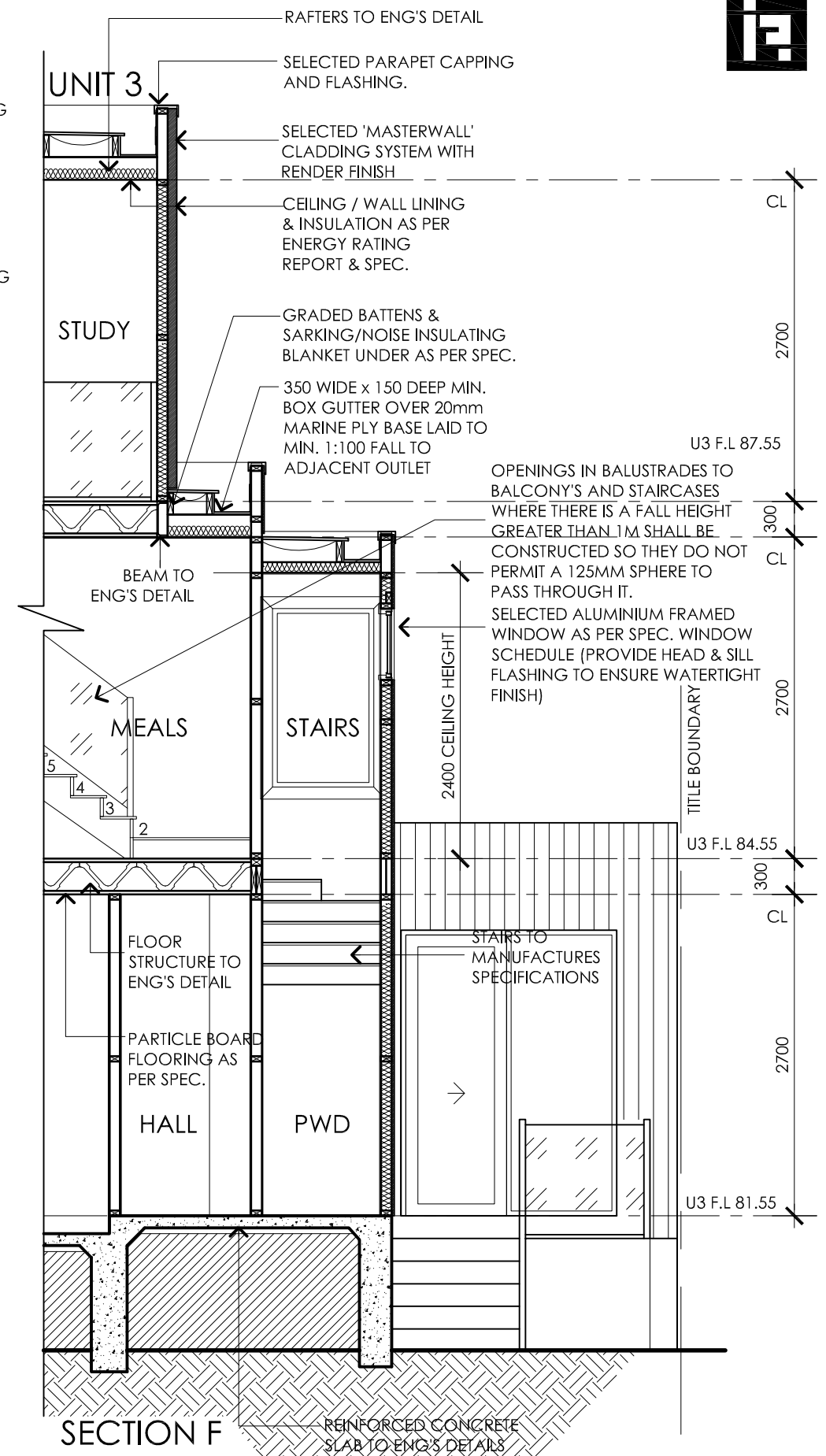
350 WIDE x 150 DEEP MIN.
BOX GUTTER OVER 20mm
MARINE PLY BASE LAID TO
MIN. 1:100 FALL TO
ADJACENT OUTLET



SECTION E
SCALE 1:50



SECTION D
SCALE 1:50



SECTION F
SCALE 1:50

MULTI UNIT DEVELOPMENT
154 BROADWAY
RESERVOIR

WD-11 C JOB NO. SCALE. DRAWN. DATE.
009984 1:50 VL SEP18

SECTIONS D,E,F

THIS PLAN OR DESIGN MAY NOT BE COPIED, LOANED OR BORROWED WITHOUT THE WRITTEN CONSENT OF IKONOMIDIS REID



**CONTI GROUP
BUILDING
CONSULTANTS
BUILDING PERMIT**

ISSUED 18/12/2019
NUMBER BS-U 26220-2254317699357

RELEVANT BUILDING SURVEYOR

Jeremy Conti

BS-U 26220

FLOOD PRONE AREA

FLOOR JOISTS TO
ENGINEERS DESIGN

19mm THK. PARTICLEBOARD
FLOORING AS PER SPEC.

16MM USG BORAL FIRESTOP
SCREW LAMINATED TO ONE SIDE
(CAN BE ON EITHER SIDE OF
SHAFT LINER PANEL). EXTENDING
150MM ABOVE FLOOR AND
BELOW CEILING

90mm TIMBER STUDS AT 600mm
MAXIMUM CENTRES AS PER SPEC
& ENG' DESIGN

INSULATION AS PER
ENERGY REPORT

19mm THK.
PARTICLEBOARD
FLOORING AS PER
SPEC.

DETAIL
SCALE : 1:10

1B
11

19mm THK. PARTICLEBOARD
FLOORING AS PER SPEC.

16MM USG BORAL FIRESTOP
SCREW LAMINATED TO ONE SIDE
(CAN BE ON EITHER SIDE OF
SHAFT LINER PANEL).

90mm TIMBER STUDS AT 600mm
MAXIMUM CENTRES AS PER SPEC
& ENG' DESIGN

INSULATION AS PER
ENERGY REPORT

19mm THK. PARTICLEBOARD
FLOORING AS PER SPEC.

FLOOR JOISTS TO
ENGINEERS DESIGN

DETAIL
SCALE : 1:10

1C
11

REFER TO STRUCTURAL ENGINEERING
DRAWINGS FOR LOCATION OF ALL
ARTICULATION/CONTROL JOINTS

300 WIDE x 100 DEEP MIN. BOX
GUTTER OVER 20mm MARINE
PLY BASE LAID TO MIN. 1:100
FALL TO ADJACENT OUTLET

SELECTED 'MASTERWALL'
CLADDING SYSTEM WITH
RENDER FINISH

BEAM TO ENG'S DETAIL

PROVIDE DRIP GROOVE OR MIN
10MM DRIP EDGE TO SOFFIT.

SOFFIT LINING AS PER SPEC.

PARAPET
FLASHING/CAPPING
AS REQUIRED

BATTENS & SARKING/
NOISE INSULATING
BLANKET UNDER AS
PER SPEC.

300
MIN.

100
MIN.

10

RAFTERS TO ENG'S DETAIL

DETAIL
SCALE : 1:10

3
-

PORCH BOX
GUTTER DETAIL

SELECTED METAL SHEET
ROOFING @ 1° PITCH
WITH SARKING &
INSULATION BLANKET
UNDER AS REQUIRED
OVER GRADED BATTENS

PROVIDE CEILING/ WALL LINING
& INSULATION AS PER SPEC &
ENERGY RATING REPORT

SELECTED COLORBOND
CAPPING OVER 20mm
MARINE PLY BASE

GRADED BATTENS 120mm
MIN. HIGH @ GUTTER END

BOX GUTTER OVER 20mm
MARINE PLY BASE, LAID TO
MIN. 1:100 FALL TO OUTLET.

RAFTERS TO ENG'S DETAIL

TOP PLATES AS PER SPEC

DETAIL
SCALE : 1:20

4
-

TYPICAL PARAPET &
BOX GUTTER DETAIL

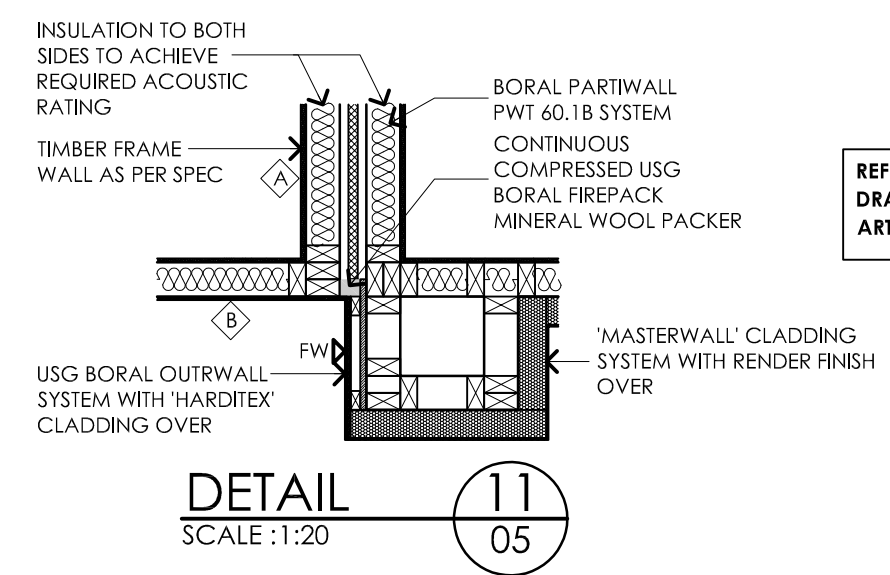
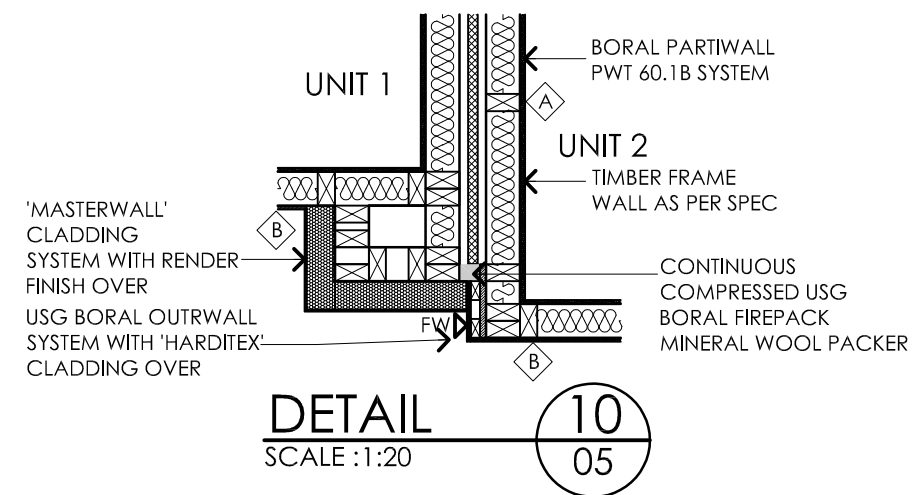
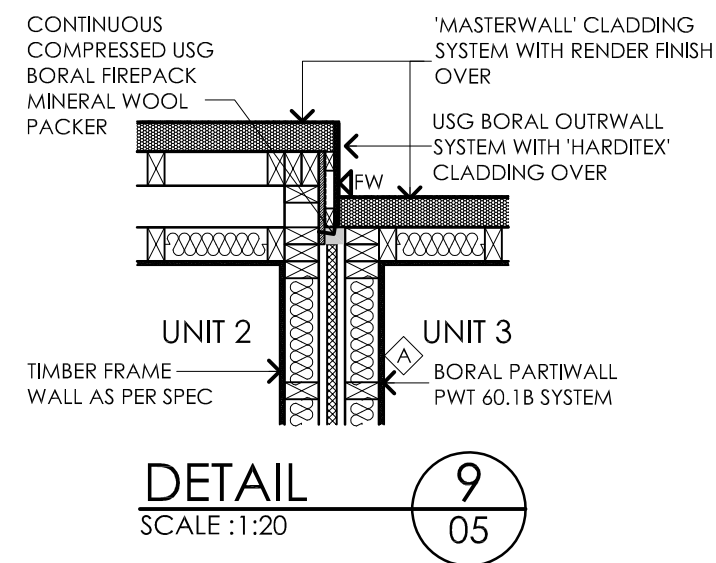
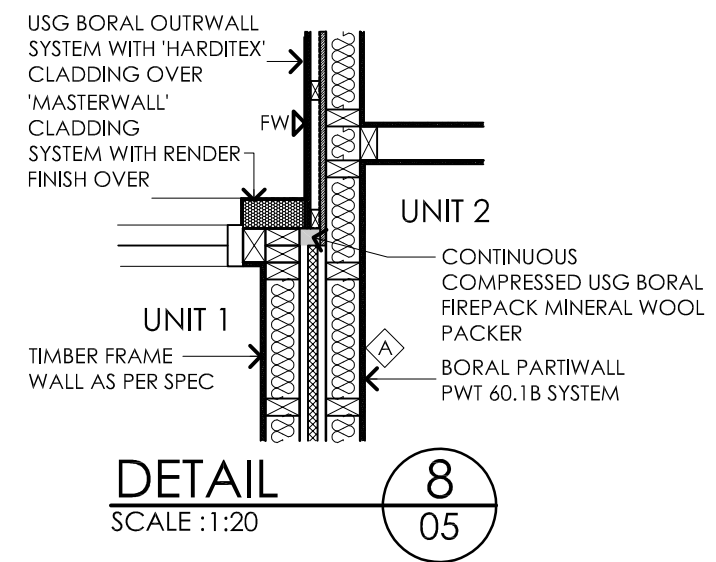
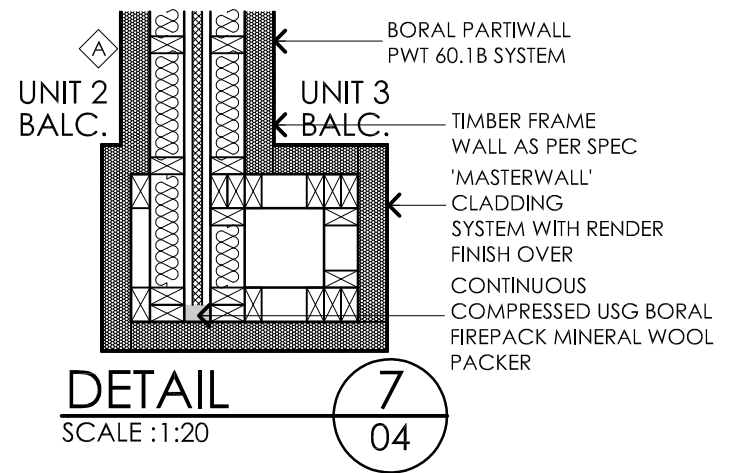
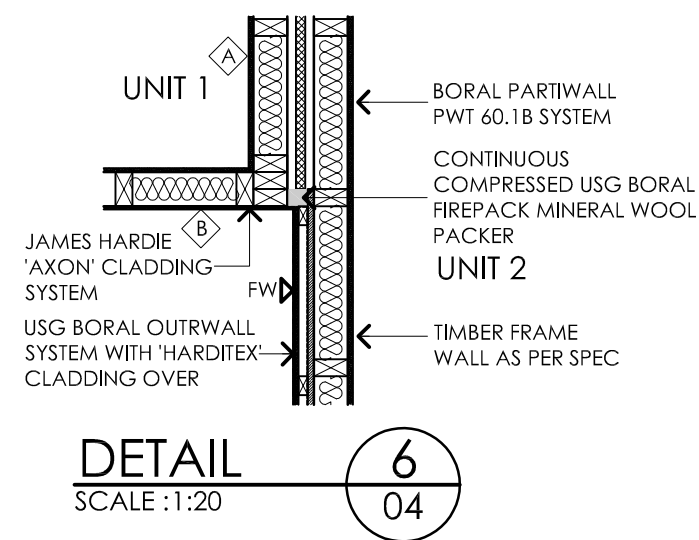
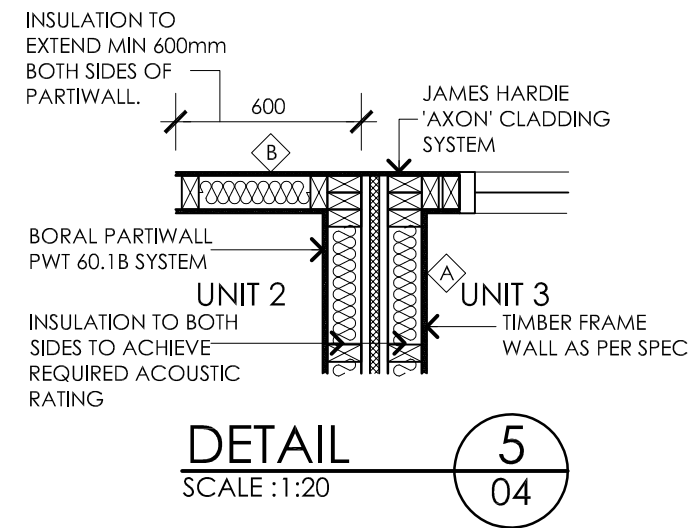
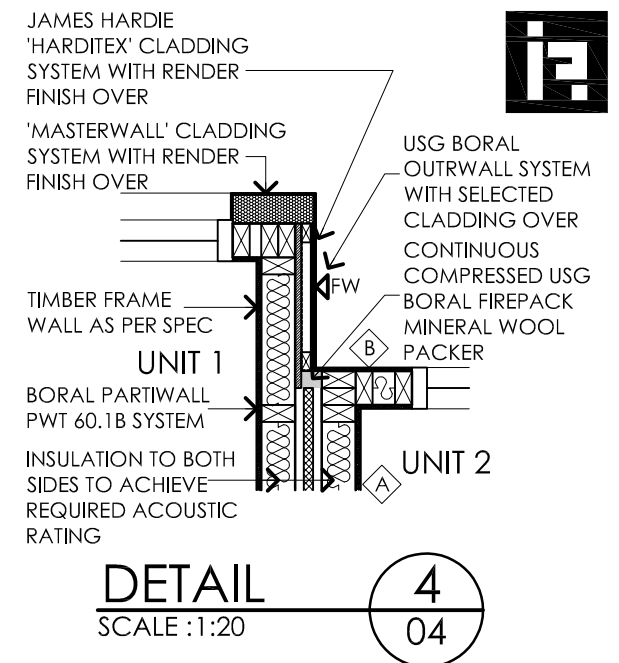
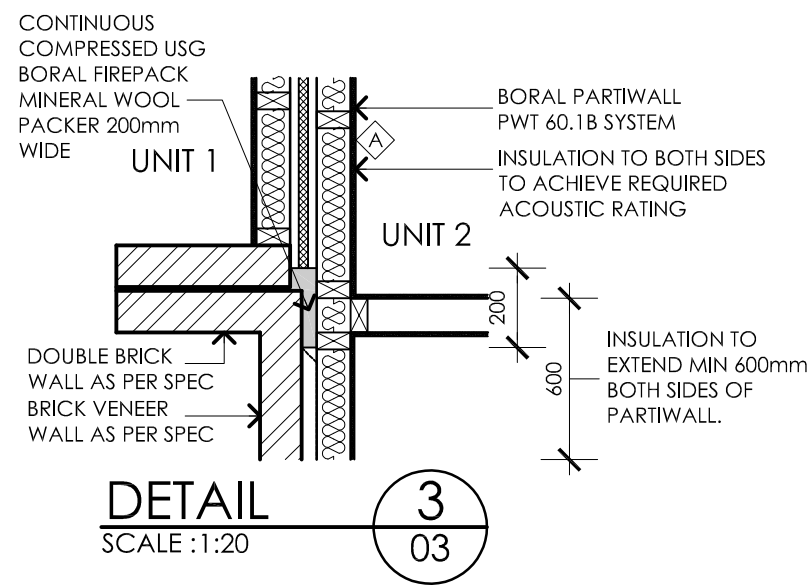
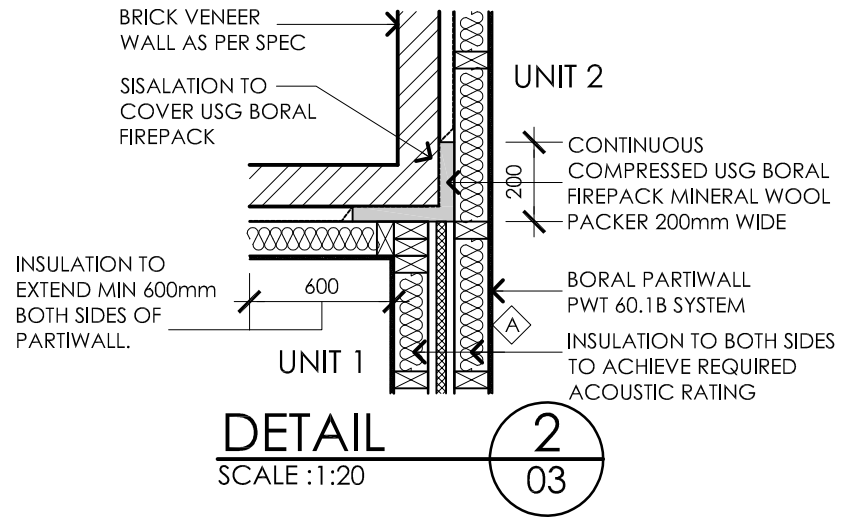
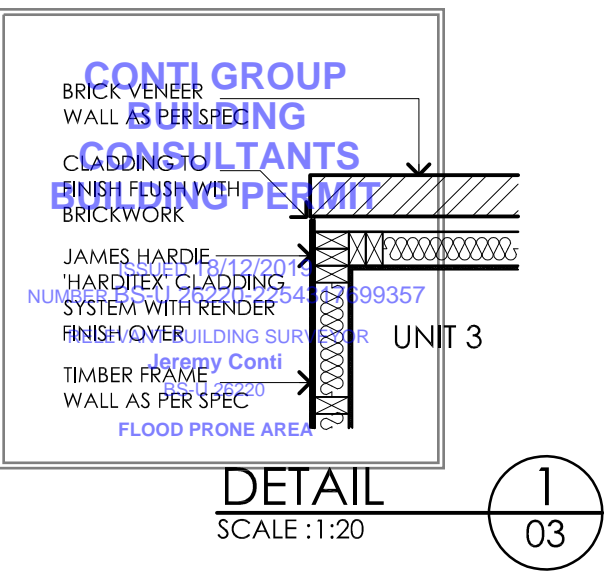
MULTI UNIT DEVELOPMENT
154 BROADWAY
RESERVOIR

WD-12 C

JOB NO. SCALE. DRAWN. DATE.
009984 AS NOTED VL SEP18

DETAILS

THIS PLAN OR DESIGN MAY NOT BE COPIED, LOANED OF BORROWED WITHOUT THE WRITTEN CONSENT OF IKONOMIDIS REID



REFER TO STRUCTURAL ENGINEERING DRAWINGS FOR LOCATION OF ALL ARTICULATION/CONTROL JOINTS

MULTI UNIT DEVELOPMENT
154 BROADWAY
RESERVOIR

THIS PLAN OR DESIGN MAY NOT BE COPIED, LOANED OF BORROWED WITHOUT THE WRITTEN CONSENT OF IKONOMIDIS REID

CONTI GROUP
BUILDING
CONSULTANTS
BUILDING PERMIT

ISSUED 18/12/2019
NUMBER BS-U 26220-2254317699357

RELEVANT BUILDING SURVEYOR
Jeremy Conti
BS-U 26220

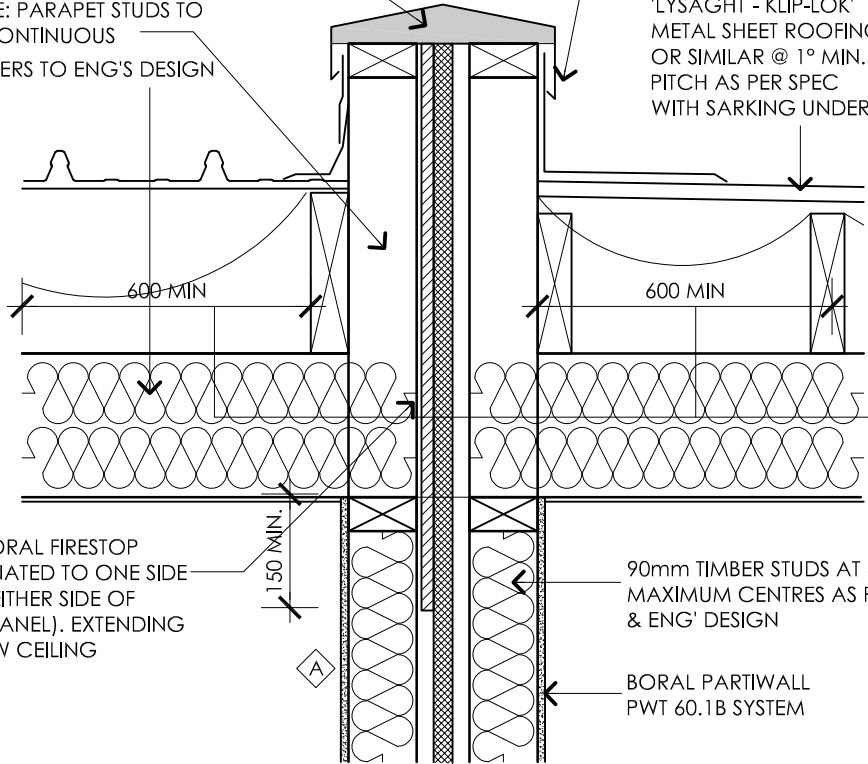
FLOOD PRONE AREA

CONTINUOUS
COMPRESSED USG BORAL
FIREPACK MINERAL WOOL
PACKER

NOTE: PARAPET STUDS TO
BE CONTINUOUS
RAFTERS TO ENG'S DESIGN

FLASHING/PARAPET
CAPPING TO ENSURE
WATER TIGHT FINISH

'LYSAGHT - KLIP-LOK'
METAL SHEET ROOFING
OR SIMILAR @ 1° MIN.
PITCH AS PER SPEC
WITH SARKING UNDER

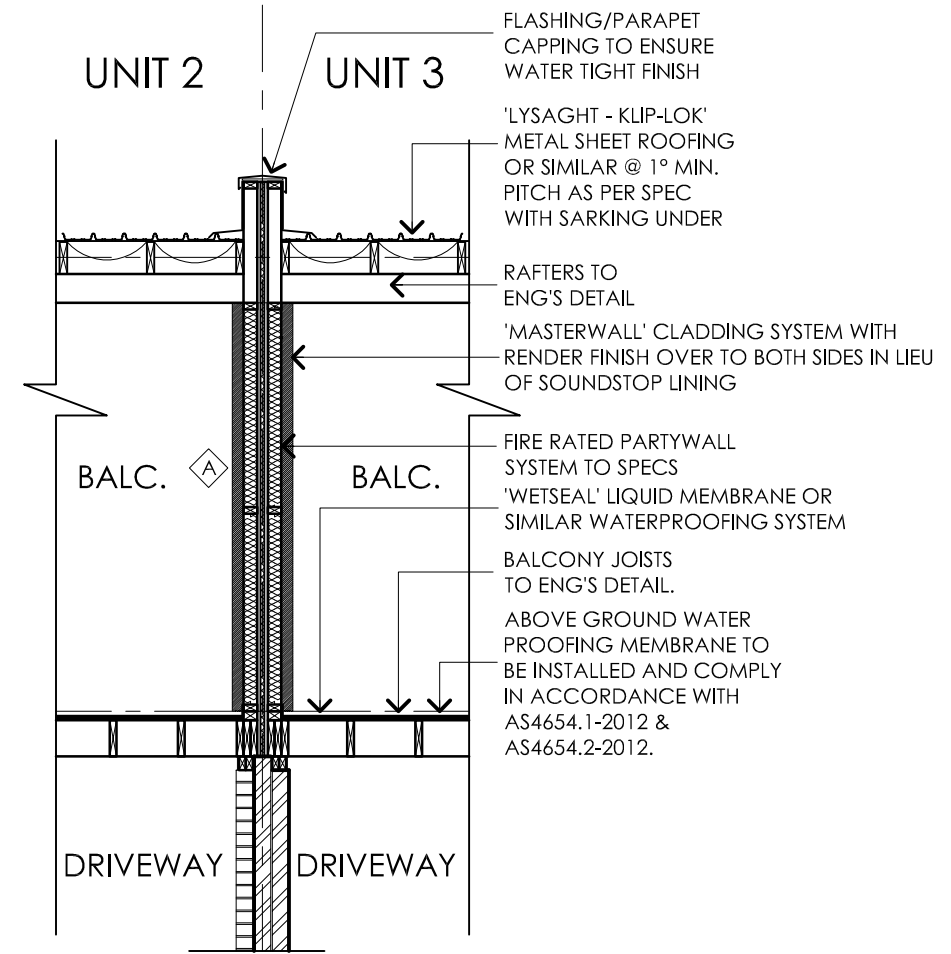


REFER TO STRUCTURAL ENGINEERING
DRAWINGS FOR LOCATION OF ALL
ARTICULATION/CONTROL JOINTS

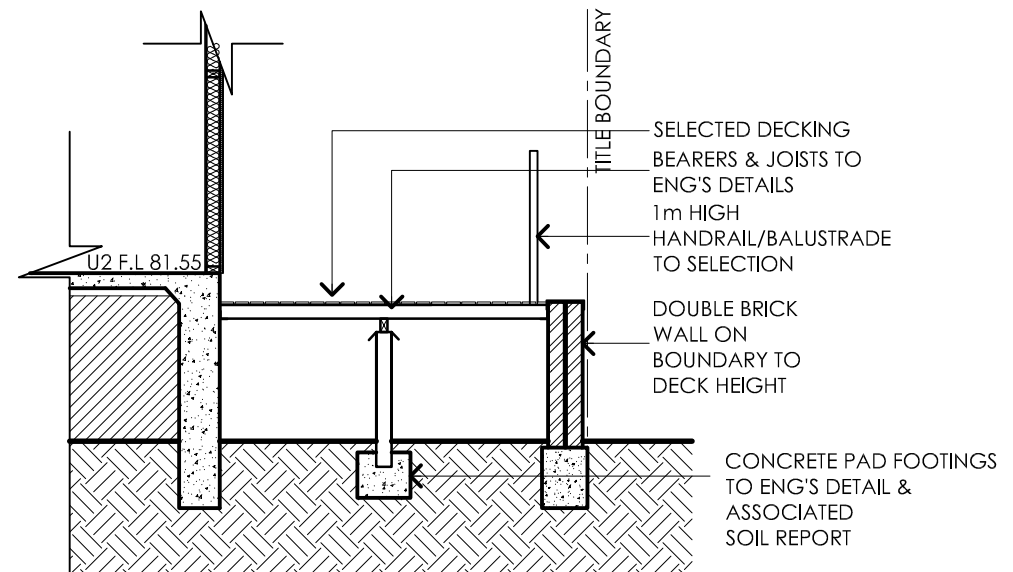
600mm WIDE MIN OF ADDITIONAL
INSULATION AS PER RELEVANT
WALL TYPE TO EACH SIDE OF PARTY
WALL TO MAINTAIN ACOUSTIC
RATING AS REQ'D FOR THE
PARTICULAR WALL TYPE

DETAIL
SCALE : 1:10

1A
11



SECTION G
SCALE 1:50



SECTION H
SCALE 1:50

MULTI UNIT DEVELOPMENT
154 BROADWAY
RESERVOIR

WD-14 C JOB NO. SCALE. DRAWN. DATE.
009984 AS NOTED VL SEP18

SECTION G, H & DETAIL

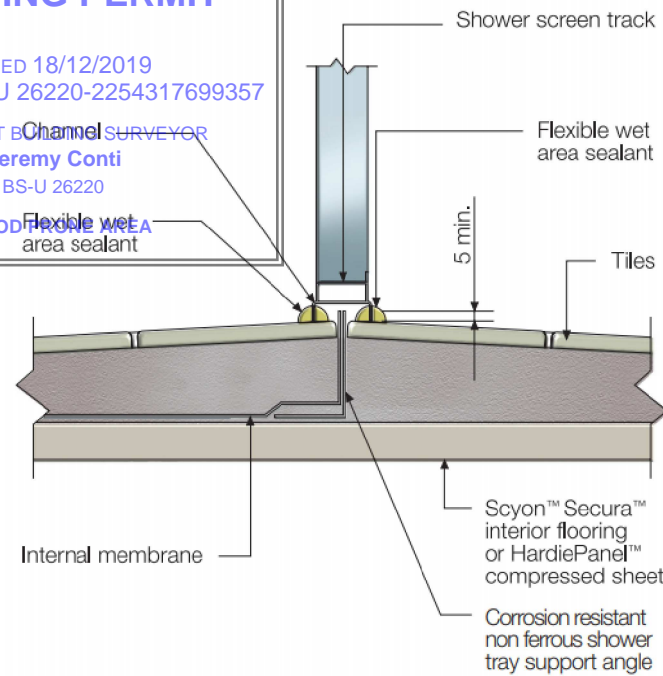
THIS PLAN OR DESIGN MAY NOT BE COPIED, LOANED OR BORROWED WITHOUT THE WRITTEN CONSENT OF IKONOMIDIS REID

CONTI GROUP BUILDING CONSULTANTS BUILDING PERMIT

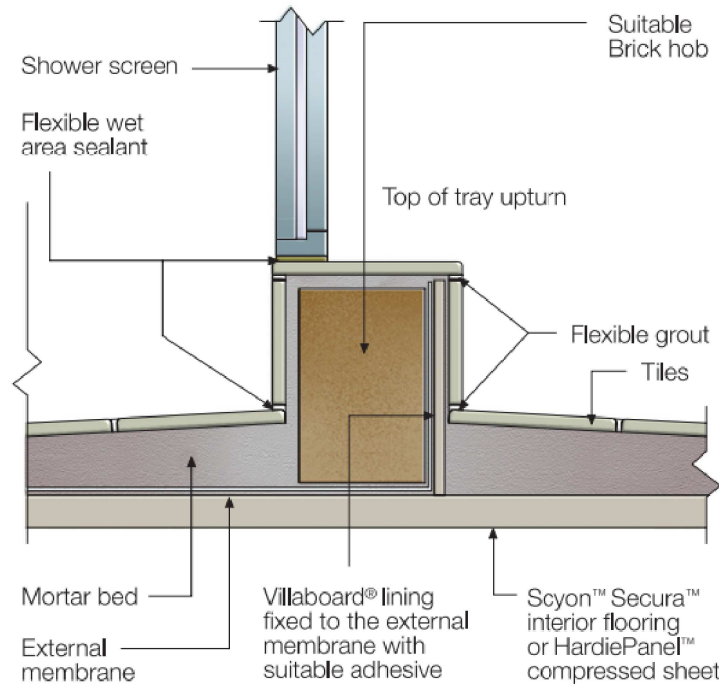
ISSUED 18/12/2019
NUMBER BS-U 26220-2254317699357

Channel SURVEYOR
Jeremy Conti
BS-U 26220

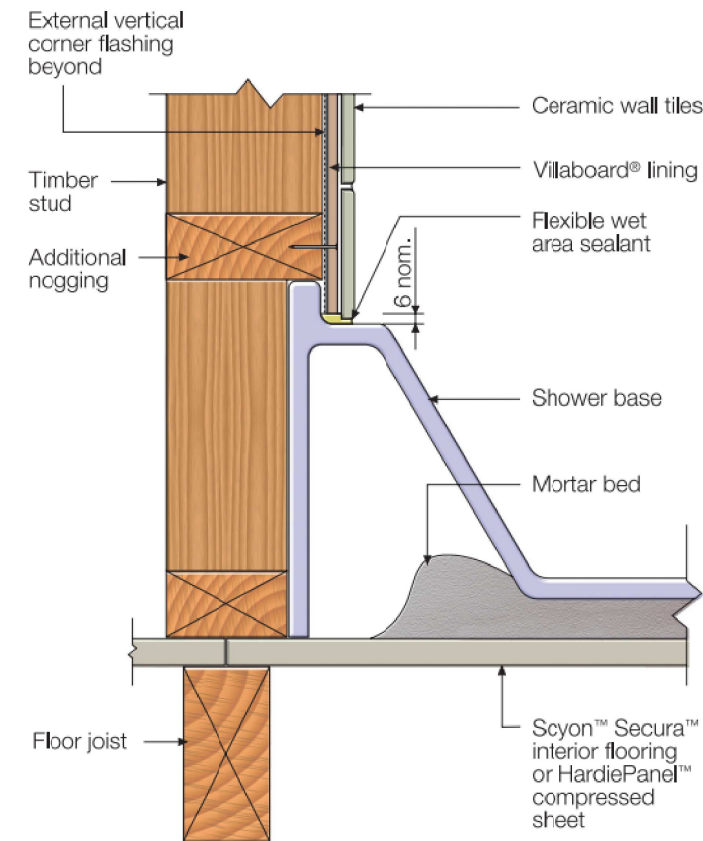
FLOOD PRONE AREA
Flexible wet
area sealant



HOBLESS SHOWER



BRICK HOB - EXTERNAL MEMBRANE



PREFORMED SHOWER BASE

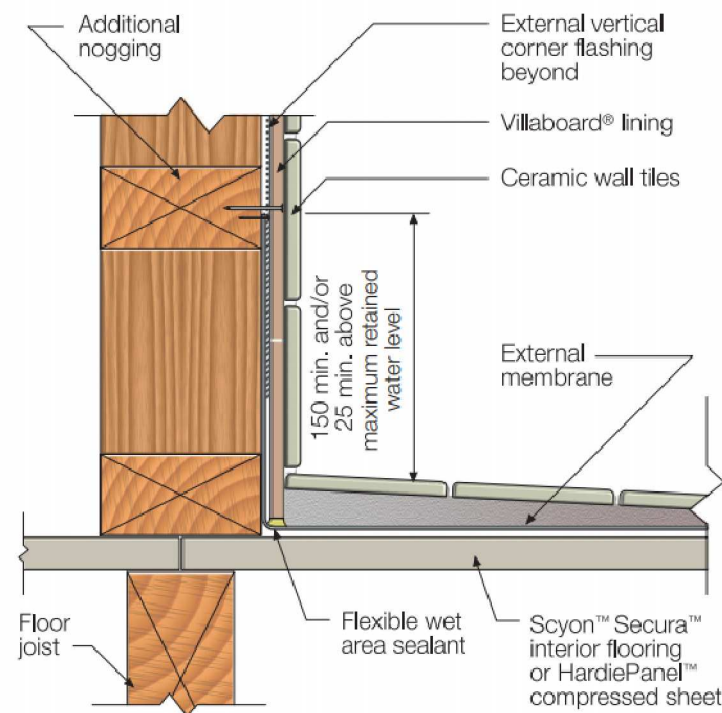
WATERPROOFING OF WET AREAS

BATHROOM/ENSUITE:

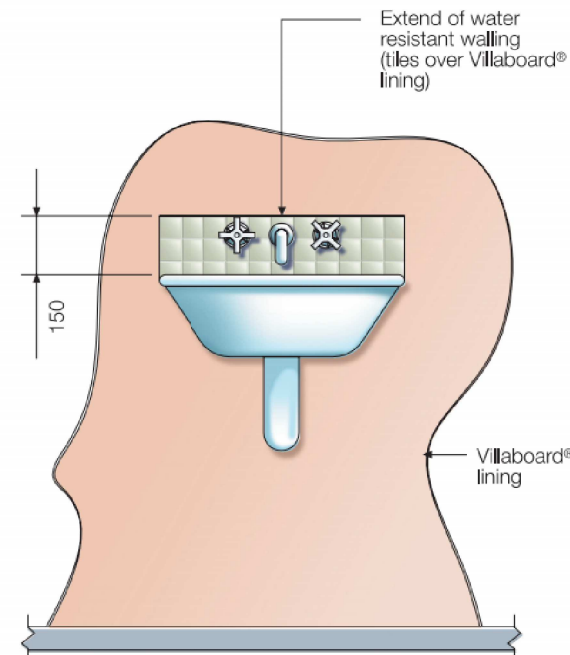
WATERPROOF ENTIRE FLOOR, WALL / FLOOR JUNCTION & AROUND OPEN SHOWER AND FREE STANDING BATH AREA MINIMUM 1800MM HIGH & 1500MM FROM WATER OUTLET IN HORIZONTAL PLANE

LAUNDRY / WC:

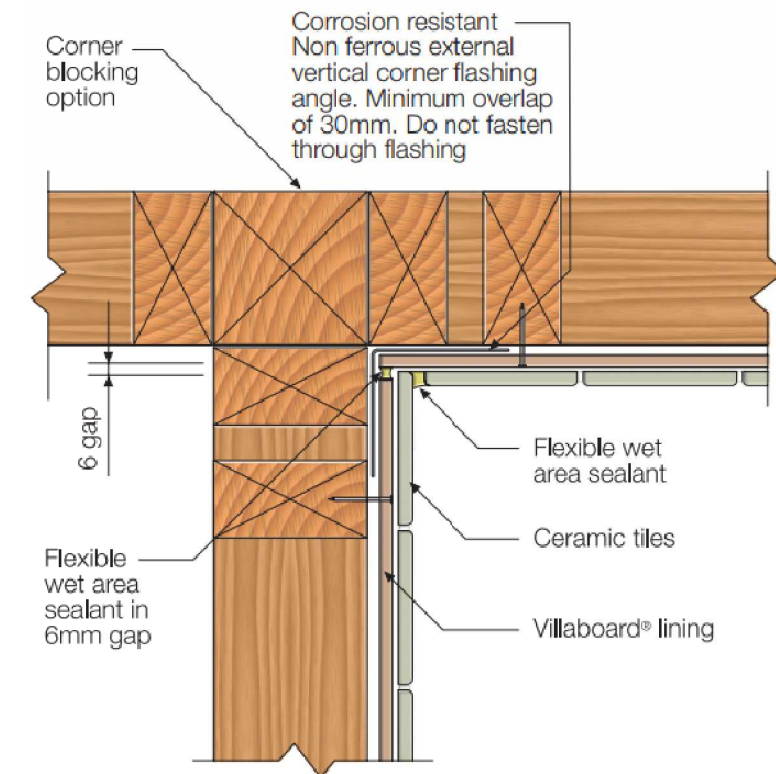
WATERPROOF WALL / FLOOR JUNCTIONS



SHOWER BASE -
EXTERNAL MEMBRANE



BASINS AND TUBS
ABUTTING WALLS



VERTICAL CORNER FLASHING FOR
EXTERNAL MEMBRANE - SHOWER RECESS

MULTI UNIT DEVELOPMENT
154 BROADWAY
RESERVOIR

WD-15 C

JOB NO. SCALE. DRAWN. DATE.
009984 AS NOTED VL SEP18

WET AREA DETAILS

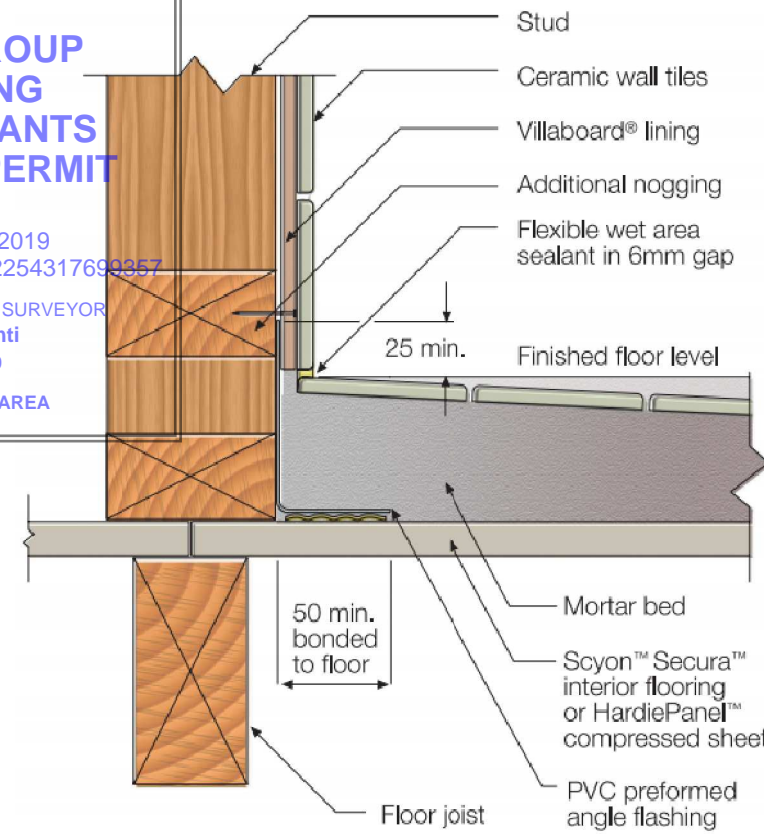
THIS PLAN OR DESIGN MAY NOT BE COPIED, LOANED OR BORROWED WITHOUT THE WRITTEN CONSENT OF IKONOMIDIS REID

CONTI GROUP BUILDING CONSULTANTS BUILDING PERMIT

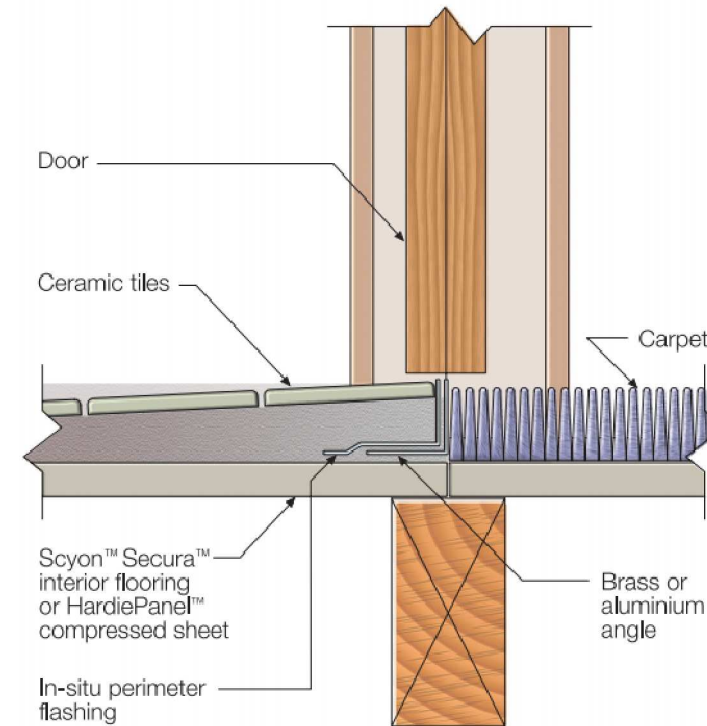
ISSUED 18/12/2019
NUMBER BS-U 26220-2254317699357

RELEVANT BUILDING SURVEYOR
Jeremy Conti
BS-U 26220

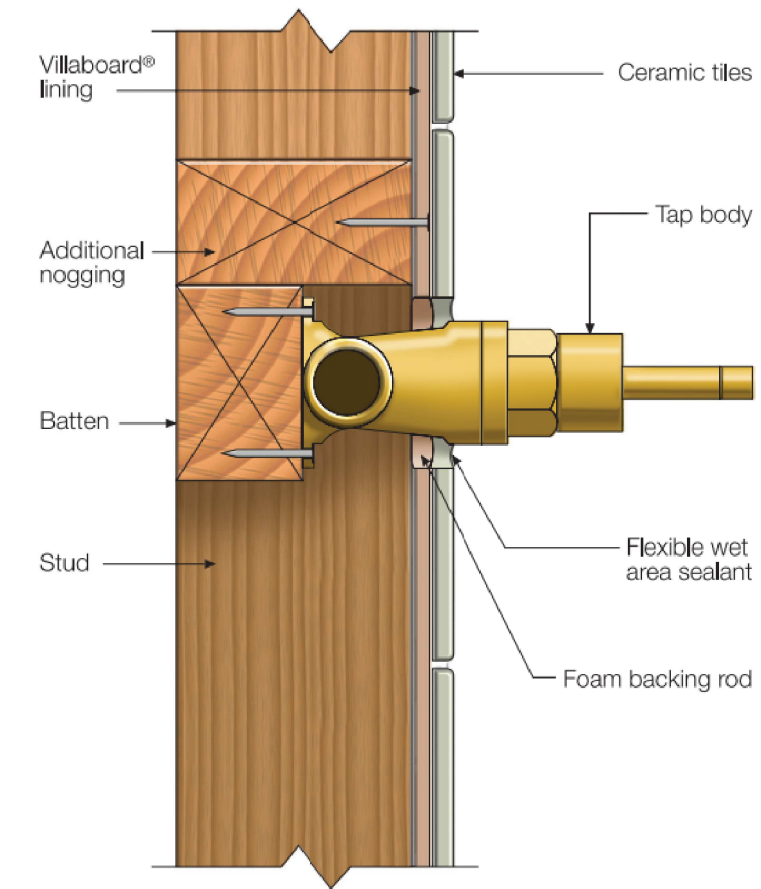
FLOOD PRONE AREA



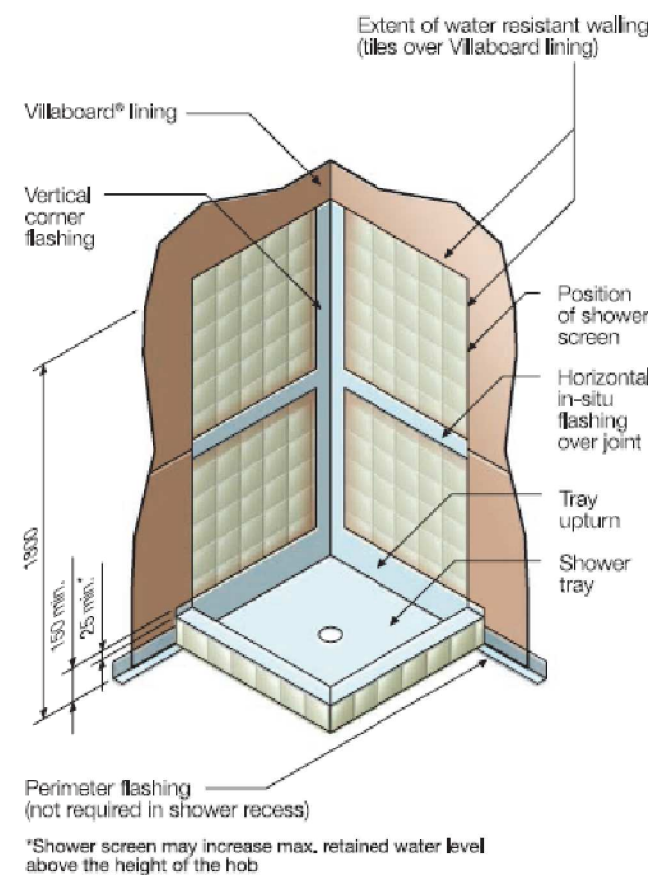
EXTERNAL PERIMETER FLASHING



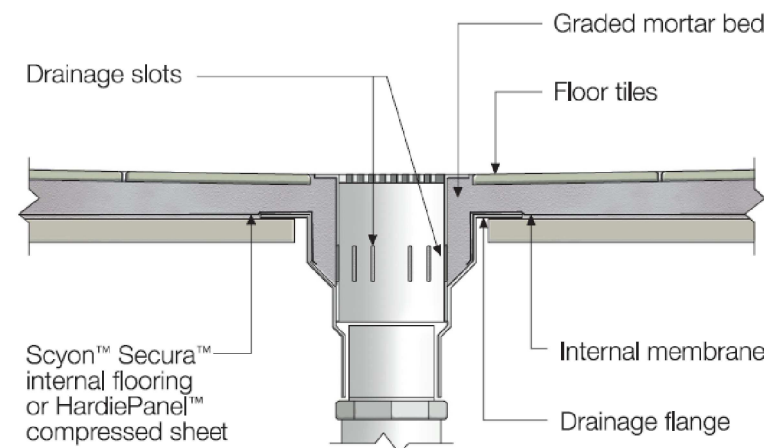
DOORWAY FLASHING



TAP PENETRATIONS TO SHOWER WALL



ENCLOSED SHOWER



FLOOR PENETRATIONS

WATERPROOFING OF WET AREAS

BATHROOM/ENSUITE:

WATERPROOF ENTIRE FLOOR, WALL / FLOOR JUNCTION & AROUND OPEN SHOWER AND FREE STANDING BATH AREA MINIMUM 1800MM HIGH & 1500MM FROM WATER OUTLET IN HORIZONTAL PLANE

LAUNDRY / WC:

WATERPROOF WALL / FLOOR JUNCTIONS

MULTI UNIT DEVELOPMENT
154 BROADWAY
RESERVOIR

WD-16 C

JOB NO. SCALE. DRAWN. DATE.
009984 AS NOTED VL SEP18

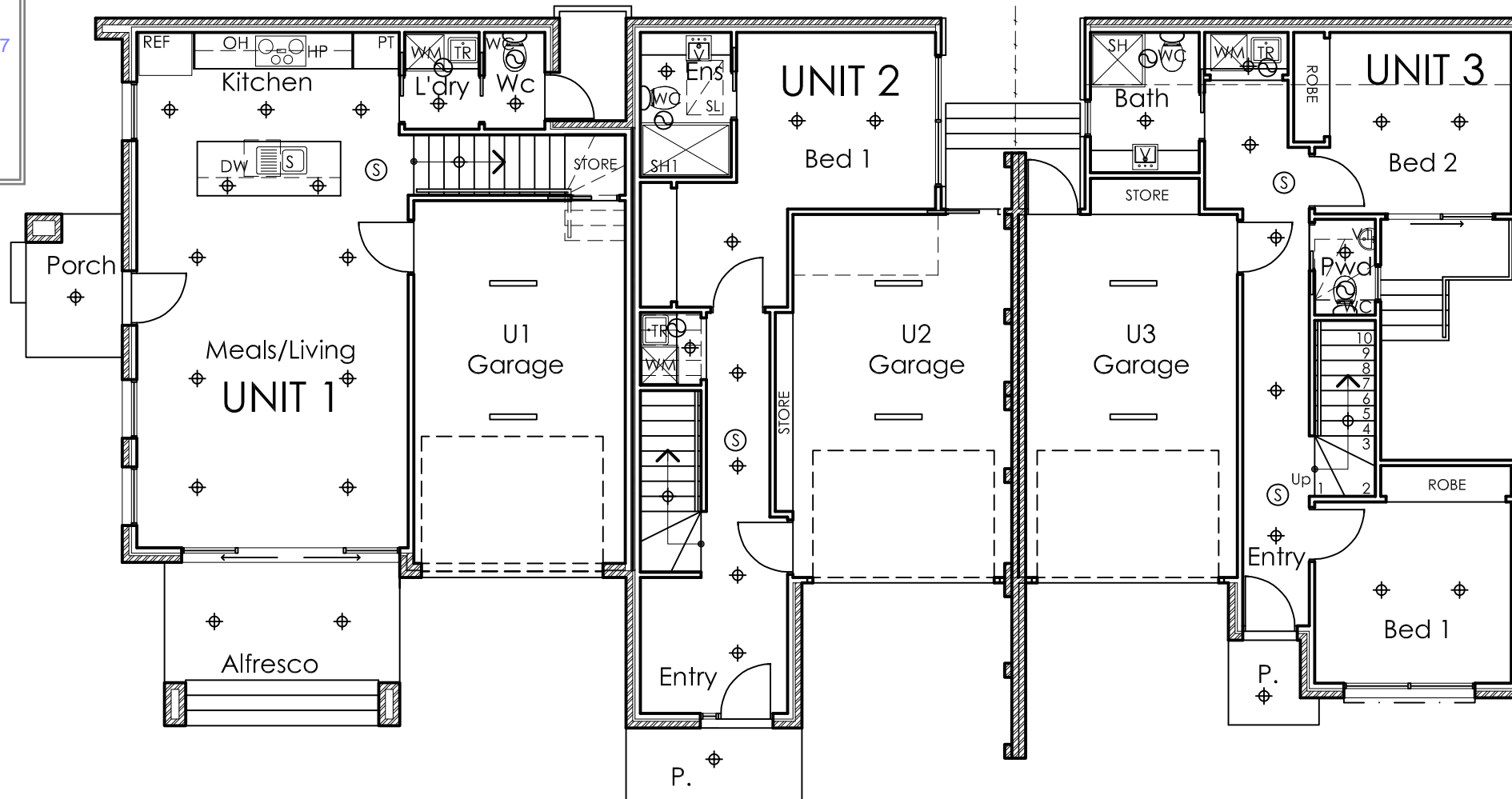
WET AREA DETAILS

CONTI GROUP
BUILDING
CONSULTANTS
BUILDING PERMIT

ISSUED 18/12/2019
NUMBER BS-U 26220-2254317699357

RELEVANT BUILDING SURVEYOR
Jeremy Conti
BS-U 26220

FLOOD PRONE AREA



LIGHTING CALCULATION/SCHEDULE:

DWELLINGS 1-3 TO ACHIEVE 6 STAR RATING
ENERGY RATING FOR LIGHTING

LIGHTING MUST HAVE A MAX. POWER DENSITY OF

- 5W/M2 FOR A DWELLING
- 4W/M2 FOR A PORCH
- 3W/M2 FOR A GARAGE

ASSUMPTIONS FOR LIGHTING

- LED DOWNLIGHT OR SIMILAR 10 WATTS
- LED DOWNLIGHT OR SIMILAR 4 WATTS
- BATTEN LIGHT CFL LIGHT GLOBE OR SIMILAR 15 WATTS
- BATTEN LIGHT FLUORESCENT TUBE OR SIMILAR 18 WATTS

UNIT 1

ENSURE WATT FOR NOMINATED AREAS DOESN'T EXCEED

MAX WATTS FOR THE DWELLING (GROUND FLOOR):-	228 WATTS	AREA: 45.66m ²	NOMINATED: 140 WATTS
MAX WATTS FOR THE DWELLING (FIRST FLOOR):-	373 WATTS	AREA: 74.72m ²	NOMINATED: 140 WATTS
MAX WATTS FOR THE DWELLING (SECOND FLOOR):-	217 WATTS	AREA: 43.54m ²	NOMINATED: 100 WATTS
MAX WATTS FOR THE GARAGE:-	63 WATTS	AREA: 21.00m ²	NOMINATED: 36 WATTS
MAX WATTS FOR THE PORCH:-	15 WATTS	AREA: 3.77m ²	NOMINATED: 10 WATTS
MAX WATTS FOR THE PERGOLA:-	309 WATTS	AREA: 77.41m ²	NOMINATED: 20 WATTS

UNIT 2

ENSURE WATT FOR NOMINATED AREAS DOESN'T EXCEED

MAX WATTS FOR THE DWELLING (GROUND FLOOR):-	172 WATTS	AREA: 34.51m ²	NOMINATED: 100 WATTS
MAX WATTS FOR THE DWELLING (FIRST FLOOR):-	237 WATTS	AREA: 47.52m ²	NOMINATED: 130 WATTS
MAX WATTS FOR THE DWELLING (SECOND FLOOR):-	230 WATTS	AREA: 46.12m ²	NOMINATED: 90 WATTS
MAX WATTS FOR THE GARAGE:-	64 WATTS	AREA: 21.53m ²	NOMINATED: 36 WATTS
MAX WATTS FOR THE PORCH:-	13 WATTS	AREA: 3.49m ²	NOMINATED: 10 WATTS
MAX WATTS FOR THE BALCONY:-	45 WATTS	AREA: 11.34m ²	NOMINATED: 20 WATTS

UNIT 3

ENSURE WATT FOR NOMINATED AREAS DOESN'T EXCEED

MAX WATTS FOR THE DWELLING (GROUND FLOOR):-	217 WATTS	AREA: 43.51m ²	NOMINATED: 120 WATTS
MAX WATTS FOR THE DWELLING (FIRST FLOOR):-	221 WATTS	AREA: 44.20m ²	NOMINATED: 90 WATTS
MAX WATTS FOR THE DWELLING (SECOND FLOOR):-	154 WATTS	AREA: 30.93m ²	NOMINATED: 70 WATTS
MAX WATTS FOR THE GARAGE:-	108 WATTS	AREA: 21.72m ²	NOMINATED: 36 WATTS
MAX WATTS FOR THE PORCH:-	90 WATTS	AREA: 18.05m ²	NOMINATED: 10 WATTS
MAX WATTS FOR THE BALCONY:-	47 WATTS	AREA: 9.47m ²	NOMINATED: 20 WATTS

- WHERE LAMPS ARE USED THAT HAVE A TRANSFORMER OR BALLAST, THE TRANSFORMER BALLAST MUST BE OF ELECTRICAL TYPE
- HALOGEN LAMPS MUST BE SEPARATELY SWITCHED FROM FLUORESCENT LAMPS
- OUTDOOR LIGHTING MUST BE CONTROLLED BY A DAY SENSOR OR HAVE AT LEAST 40 LUMENS/W
- TYPICAL LIGHTING PLAN PROVIDED - MAY VARY DURING CONSTRUCTION TO OWNERS SELECTION (ENSURE WATTAGE DOES NOT EXCEED MAXIMUM WATTAGE ALLOWANCE SHOWN IN THE TABLE ABOVE IF VARIED DURING CONSTRUCTION)

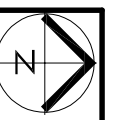
MULTI UNIT DEVELOPMENT
154 BROADWAY
RESERVOIR

WD-17 C

JOB NO. 009984 SCALE. 1:100 DRAWN. DATE. VL SEP18

LIGHTING PLAN
GROUND FLOOR

THIS PLAN OR DESIGN MAY NOT BE COPIED, LOANED OF BORROWED WITHOUT THE WRITTEN CONSENT OF IKONOMIDIS REID

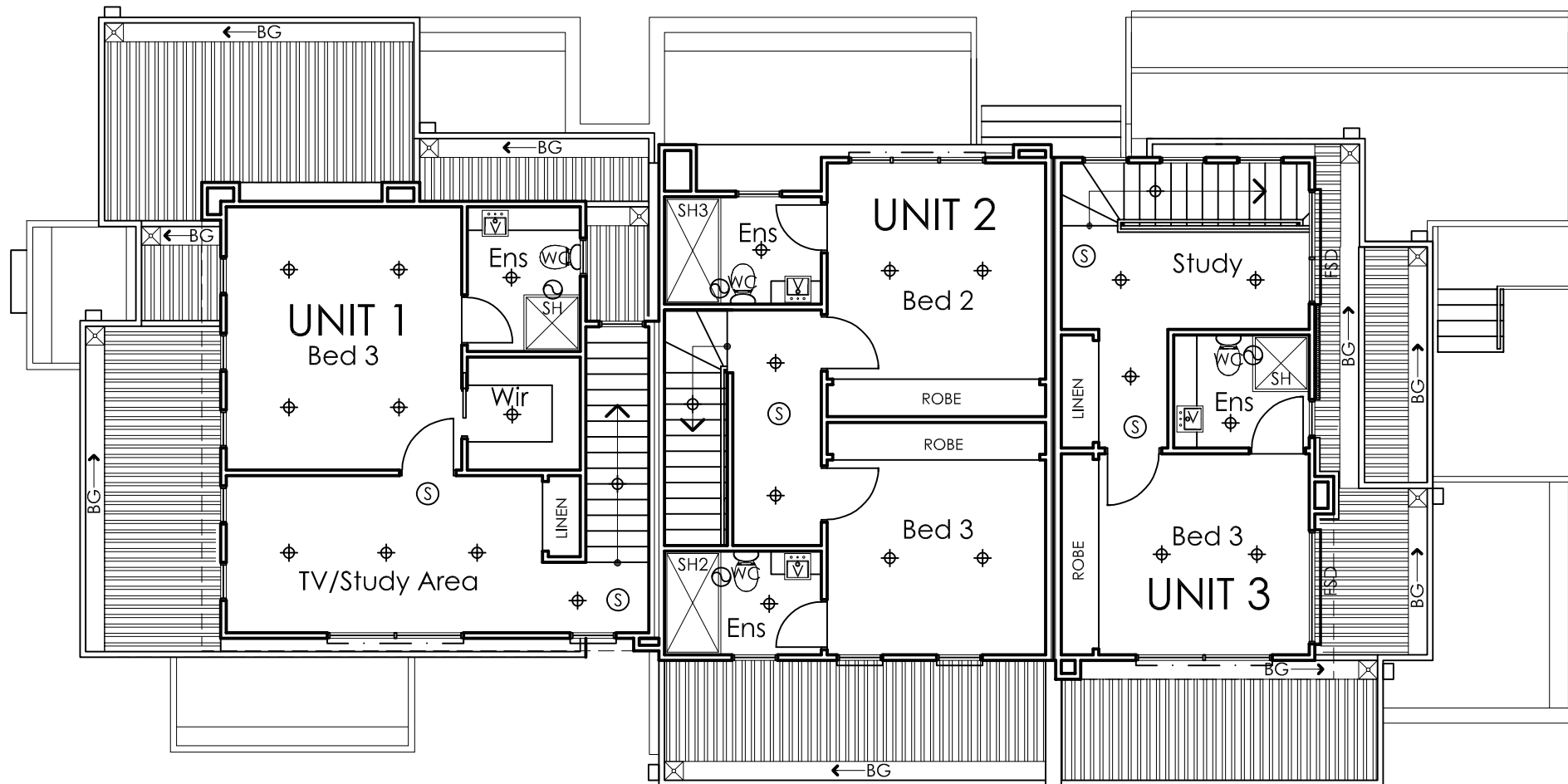
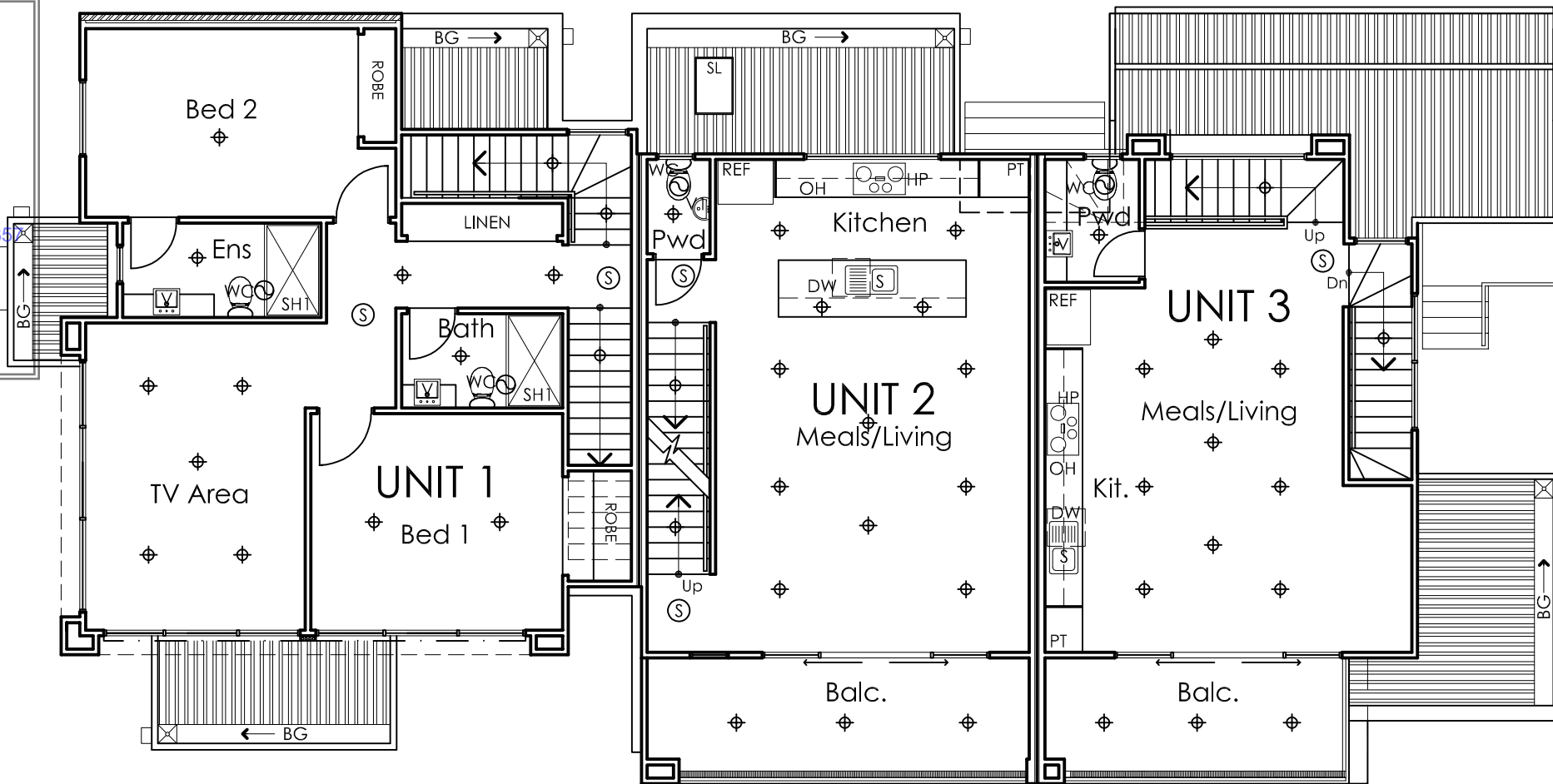


CONTI GROUP
BUILDING
CONSULTANTS
BUILDING PERMIT

ISSUED 18/12/2019
NUMBER BS-U 26220-225431769935

RELEVANT BUILDING SURVEYOR
Jeremy Conti
BS-U 26220

FLOOD PRONE AREA



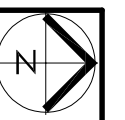
MULTI UNIT DEVELOPMENT
154 BROADWAY
RESERVOIR

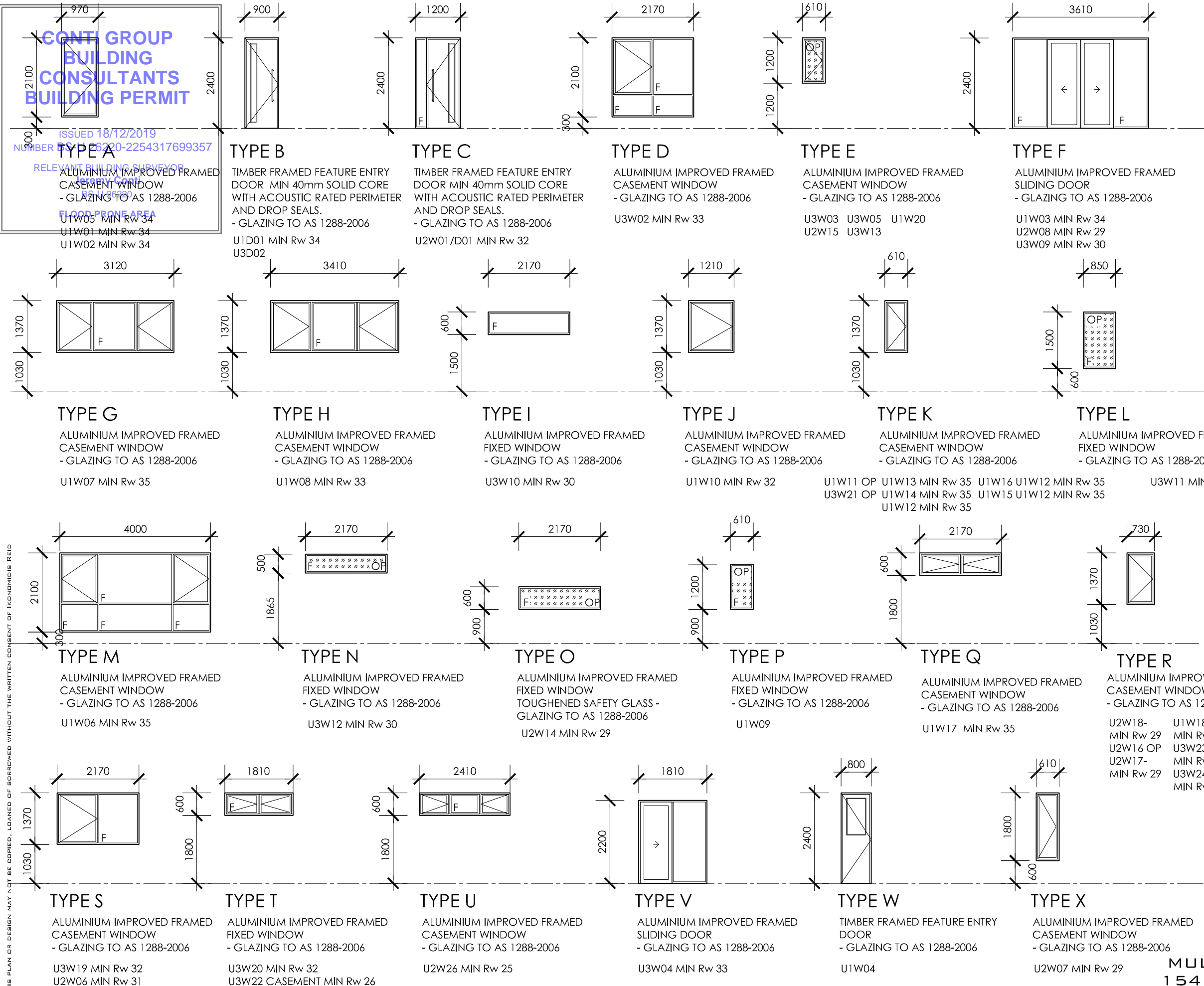
WD-18 C

JOB NO. SCALE. DRAWN. DATE.
009984 1:100 VL SEP18

LIGHTING PLAN
FIRST & SECOND FLOOR

THIS PLAN OR DESIGN MAY NOT BE COPIED, LOANED OF BORROWED WITHOUT THE WRITTEN CONSENT OF IKONOMIDIS REID





*ALL WINDOWS TO BE DOUBLE GLAZED AS PER SDA REPORT & ENDORSED ENERGY RATING REPORT

* REFER TO ACOUSTIC REPORT
PREPARED BY AUDIOMETRIC & ACOUSTIC
SERVICES FOR R_w VALUES TABLE 3.

IF A DEVICE TO RESTRICT THE WINDOW OPENING IS USED WITH A CHILD RESTRAINT RELEASE MECHANISM TO ENABLE THE DEVICE TO BE REMOVED/UNLOCKED OR OVERRIDDEN, THE HEIGHT OF THE OPENING MUST NOT BE LESS THAN 865mm ABOVE FFL

ENERGY RATINGS

CONTINGUANTCONSULTANTS

RELEVANT BUILDING SURVEYOR
Jeremy Conti

DWELLING TO ACHIEVE A MIN. OF 6.0 STARS AS REQUIRED UNDER RESCODE AT THE TIME OF THE PLANNING PERMIT BEING ISSUED.

REFER TO ENERGY RATING REPORT **JOB No: 13861** THE 'FIRSTRATE' SOFTWARE SYSTEM WAS USED FOR THESE RATINGS THE FOLLOWING IS A SUMMARY FOR THIS DEVELOPMENT:-

UNIT 1:- **6.0 STARS** 113.2 MJ/m2
UNIT 2:- **6.2 STARS** 106.3 MJ/m2
UNIT 3:- **6.1 STARS** 110.5 MJ/m2

REFER TO ENERGY RATING REPORT FOR DETAILS

ANY VARIATION TO THE SPECIFICATION MAY RESULT THE THE MINIMUM RATING NOT BEING ACHIEVED.

FLOOD PRONE AREA

CONTACT THE ENERGY RATER IF THERE IS ANY CHANGE TO THE SPECIFICATION.

THE FOLLOWING HAS BEEN INCORPORATED INTO THE RATING FOR THIS DEVELOPMENT:-

- FLOOR DETAILS
- Suspended slab to ground floor structure with;
 - R2.0 insulation
 - Timber framed floor to first floor structure with;
 - R2.5 floor insulation to areas located above the garage and cantilevered floors.
- WALL DETAILS
- Brick Veneer/ Lightweight Cladding
- Units 1-3
- R2.5 insulation plus reflective sarking/breathable vapour barrier fixed to the external face of the studs.
- Dwelling internal walls adjoining the garage to have same insulation as external walls.
- ROOF & CEILING DETAILS
- Metal
- R5.0 insulation laid directly above the ceiling plasterboard.
- Plus 55mm blanket fixed to underside of metal roof sheets
- WINDOWS, GLAZING & SHADING DETAILS
- FRAMES:
- Aluminium frames are used throughout.
- GLAZING:
- Double glazing is used throughout.
- Window System

Type	U Value	Double	SHGC+/-5%
Awning	3.90		0.58
Fixed	3.59		0.66
Sl. Door	4.09		0.61
Sashless	4.23		0.60
Sl. Window	4.20		0.62

SKYLIGHT:

Generic double glazed

SHADINGS:

Holland blinds installed internally – allowed by SEAV. (This assumption is for regulatory purposes only.)

LIGHTING

The lamp power density or illumination power density of artificial lighting not to exceed:

- In a class 1 building (within the building), 5 W/m²
- On a verandah or balcony attached to the class 1, 4 W/m²
- In a class 10 building (Garage, Shed...) 3 W/m²
- Electric resistance space heating not to exceed 110 W/m² for living areas and 150 W/m² for bathrooms

- AIR LEAKAGE
- If used, Downlights are to be sealed (fitted with shrouds).
 - Self sealing Exhaust fans (Excluding IXL tastics).
 - Windows and sliding doors are fitted with weather seals.
 - External doors fitted with a weather-strip.
 - Gaps & Cracks around doors, windows and service penetrations are sealed – refer to information sheet attached.
 - Obstructions such as adjacent dwellings have been included in the above rating and assumed to be two-storeys at minimum setback (Unless noted otherwise)
 - Note:
 - The requirement for all new dwellings to be a 6-Star energy rating plus either a solar hot water system or a rainwater tank (min 2000 litre) connected to all sanitary flushing.
 - Reflective foil - only provides an insulating effect when the reflective side of the foil faces an air space, because it works by reducing radiant heat flow across this airspace. It is the existence of this airspace that provides an insulating effect. Any air-gap must be a minimum of 25mm to be effective. Air must not be allowed to leak from one side of the foil to the other - so gaps around penetrations must be taped and sealed.
 - Bulk insulation - cannot be compressed or it will not achieve its R value. Ensure all gaps in bulk insulated walls are filled by insulation.
 - Comply with the Energy Safe Victoria electrical safety alert in relation to the installation of bulk insulation around downlights etc.

REFER TO SDA REPORT BY KEYSTONE ALLIANCE 13056 DATED AUG 2017 FOR FURTHER INFO/REQUIREMENTS

FLOOR FINISHES

- CERAMIC TILES TO OWNER'S SELECTION
- FLOORBOARDS TO OWNER'S SELECTION
- CARPET TO OWNER'S SELECTION
- COLOURED CONCRETE DRIVEWAY/PATH

GENERAL SPECIFICATION

SOIL CLASSIFICATION	REFER TO SOIL REPORT
CEILING HEIGHT	GROUND FLOOR 2700mm - FIRST FLOOR 2700mm SECOND FLOOR 2700mm
ROOF LOAD WIDTH	CONFIRM WITH TRUSS MANUFACTURER
ROOFING TYPE	LYSAGHT 0.48 THICK KLIPLOCK METAL SHEET ROOFING @ 1° & APPROX 25° PITCH WITH SARKING & NOISE INSULATION BLANKET UNDER
ROOFING MASS	40+ KG/M²
EXTERNAL WALLS	240 mm WIDE BRICK VENEER CONSTRUCTION FACE BRICKWORK TO EXTERNAL LEAF
INTERNAL LEAF	TIMBER STUD WALL LINED WITH PLASTERBOARD
FOOTINGS	REFER TO ENGINEERS DRAWINGS
BOTTOM WALL PLATE	BOTTOM PLATES TO BE SAME AS STUD CONTINUOUSLY SUPPORTED BY CONCRETE SLAB OR SOLID BLOCKING
STUDS	FOR STUDS WITH MAXIMUM HEIGHT OF 2.7m: LOWER STOREY LOADBearing 90 x 35 MGP10 AT 450 CRS STUDS NOTCHED FOR BRACING 90 x 35 MGP10 NOGGINGS SINGLE / UPPER STOREY 90 x 35 MGP10 AT 450 CRS STUDS NOTCHED FOR BRACING 90 x 35 MGP10 NOGGINGS ENSURE STUDS GREATER THAN 2.7m IN HEIGHT TO BE DESIGNED BY ENGINEER
BRACING	METAL ANGLE/SPEEDBRACE AND PLYWOOD BRACING AS REQUIRED TO AS 1684 & AS 2269
TOP WALL PLATES	LOWER STOREY LOADBearing 2/35 x 90 MGP10
JAMB STUDS	REFER TO ENG'S DRAWINGS
LINTELS	REFER TO ENG'S DRAWINGS
ROOF FRAMING	TIMBER TRUSSES AT 600 CTRS TO MANU DETAILS AND FIXING SPEC. - TRUSS DESIGN COMPS AND LAYOUT PLAN TO BE SUBMITTED AND APPROVED BY BUILDING SURVEYOR PRIOR TO FRAME INSPECTION FIXING TO COMPLY WITH LOCAL WIND CATEGORY
ROOFING BATTENS	MIN. 120. x 35 MGP.10 GRADED BATTENS @ 900 CTS (MIN. SIZE DETERMINED BY BOX GUTTER DEPTH) MIN. 70 x 35 MGP.10 BATTENS @ 900 CTS
DOWN PIPE	100 x 50 COLORBOND DOWNPIPES OR SIMILAR TO BUILDER'S SELECTION
FASCIA & BARGE BOARDS	COLORBOND NOVALINE OR SIMILAR TO BUILDERS SELECTION
FIRST FLOOR FLOORING	19mm STRUCTURAL PARTICALBOARD
FLOOR FINISHES	CARPET, FLOATING FLOORBOARDS AND CERAMIC TILES TO OWNER'S SELECTION WHERE INDICATED ON PLAN
ROOFING	LYSAGHT 0.48 THICK KLIPLOCK METAL SHEET ROOFING @ 1° & APPROX 25° PITCH WITH SARKING & NOISE INSULATION BLANKET UNDER
EAVES LINING	4.5 MM FC SHEET OR SIMILAR
INTERNAL WALL	10 MM PLASTERBOARD 10 MM WATER RESISTANT PLASTERBOARD TO WET AREAS
CEILING LINING	10 MM PLASTERBOARD (600 CTRS)
WINDOWS AND SLIDING DOORS	ALUMINIUM FRAMED WINDOWS WITH WEATHERSTRIPS REFER TO WINDOW SCHEDULE

EXTERNAL DOORS	TO OWNER'S SELECTION - PROVIDE WEATHERSTRIPS
EAVES GUTTER	PROVIDE SLOTTED OVERFLOW GUTTERING TYP. WHERE DP'S CANNOT BE PROVIDED @ MAX 1200 FROM VALLEY LOCATIONS TYP.
BOX GUTTER	MIN. 300W x 100D COLORBOND BOX GUTTER OR SIMILAR UNLESS NOTED OTHERWISE TO BUILDERS' SELECTION
WALL INSULATION	REFER TO ENERGY RATING REPORT & GENERAL NOTE WD-01
ELECTRICAL	TO AUTHORITY REQUIREMENTS
EXTERNAL PAINTING	TO OWNERS SELECTION
INTERNAL PAINTING	TO OWNER'S SELECTION
PLUMBING	TO WATER AUTHORITY REQUIREMENTS
CUPBOARDS - KITCHEN & BATHROOM FLASHING	TO OWNER'S SELECTION
RAINWATER HEAD	ALL FLASHING TO BE INSTALLED IN ACCORDANCE WITH AS/NZS 2904-1995. BUILD IN APPROVED FLASHING AT ALL EXTERNAL OPENINGS. PROVIDE AND INSTALL ALL NECESSARY CAPPINGS AND FLASHINGS OF COMPATIBLE MATERIALS TO THE ROOFING, ALL NEATLY FITTED, SEALED AND FIXED TO PREVENT THE ENTRY OF WATER INTO THE BUILDING. ALL WORK TO BE CARRIED OUT IN A TRADESMAN LIKE MANNER AND IN ACCORDANCE WITH THE BEST TRADE PRACTICES
SUMP	MIN 300W X 200D X 250H COLORBOND RAINWATER HEAD OR SIMILAR TO BUILDER'S SELECTION WITH MIN 100 X 50 OVERFLOW POP
SPREADER	TO BUILDER'S SELECTION
CAPPING	COLORBOND TO BUILDER'S SELECTION
INTERNAL DOORS	TO BUILDER'S SELECTION
SKIRTS & ARCH'S	TO BUILDER'S SELECTION
FLOOR & WALL TILING	TO ALL WET AREAS, TO OWNER'S SELECTION
ROOF INSULATION	AS PER ENERGY RATING REPORT & GENERAL NOTE WD-01
ALL TIMBER FRAMING WORKS	TO COMPLY WITH TIMBER FRAMING CODE AS 1684 - 2010

WIND CLASSIFICATION **N1**
REFER TO STRUCTURAL ENGINEERING
DRAWINGS FOR BRACING DETAILS

GROSS BUILDING AREA / UNIT:			
	UNIT 1	UNIT 2	UNIT 3
GROUND FLOOR	52.42m2	39.69m2	50.27m2
FIRST FLOOR	79.82m2	50.58m2	47.31m2
SECOND FLOOR	46.62m2	49.73m2	33.64m2
GARAGE	21.86m2	23.47m2	23.58m2
BALCONY	-	12.57m2	9.91m2
PORCH	3.16m2	3.49m2	1.80m2
TOTAL	203.88m2 (21.94SQ)	179.53m2 (19.32SQ)	166.51m2 (17.92SQ)

MULTI UNIT DEVELOPMENT
154 BROADWAY
RESERVOIR

WD-20 C JOB NO. 009984 SCALE. VL DRAWN. DATE. SEP 18

SPECIFICATIONS

THIS PLAN OR DESIGN MAY NOT BE COPIED, LOANED OR BORROWED WITHOUT THE WRITTEN CONSENT OF IKONOMIDIS REID

C	OCT 19	BUILDING SURVEYOR CHECKLIST	A	JAN 19	BUILDING PERMIT ISSUE	P2	SEP 18	NOT FOR CONSTRUCTION	P1	JAN18	NOT FOR CONSTRUCTION
B	OCT 19	BUILDING SURVEYOR CHECKLIST									
REV	DATE	ISSUE	REV	DATE	ISSUE	REV	DATE	ISSUE	REV	DATE	ISSUE